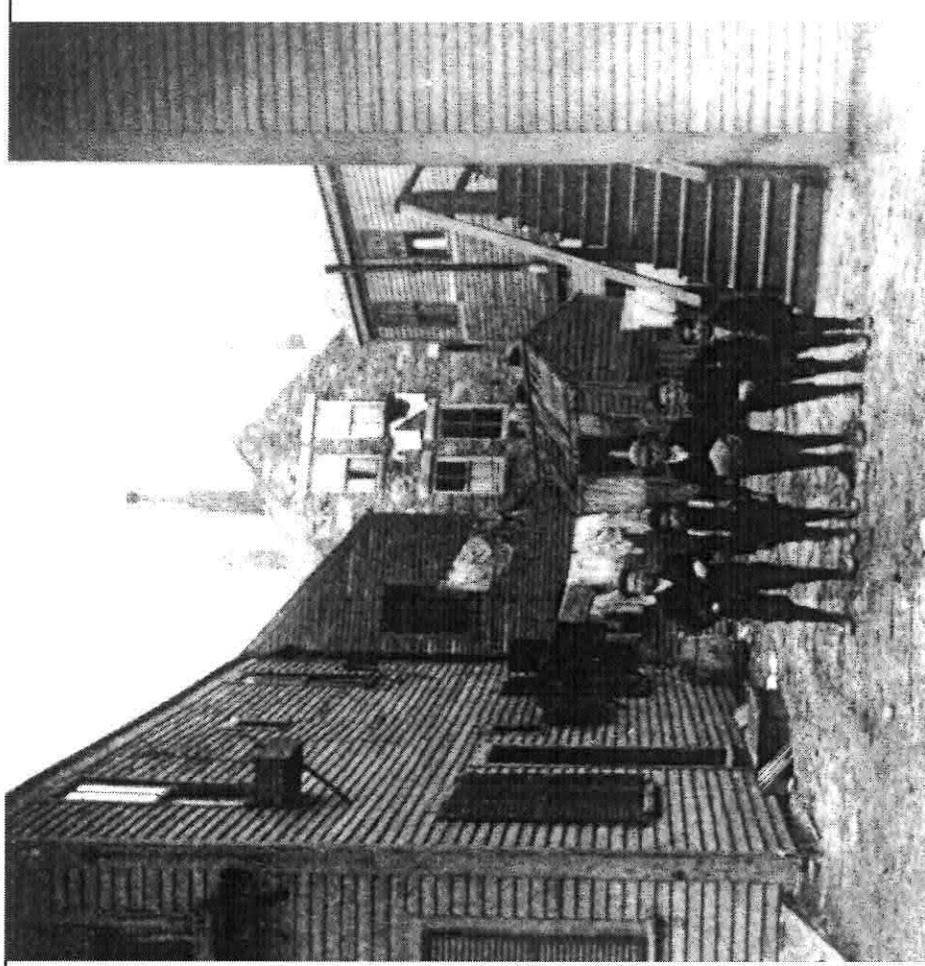

APPENDICES

A. SITE HISTORY MAPS



Portion of the Western Canal (1917).



Living conditions in the Acre (1912).

The Acre Urban Revitalization and Development Project

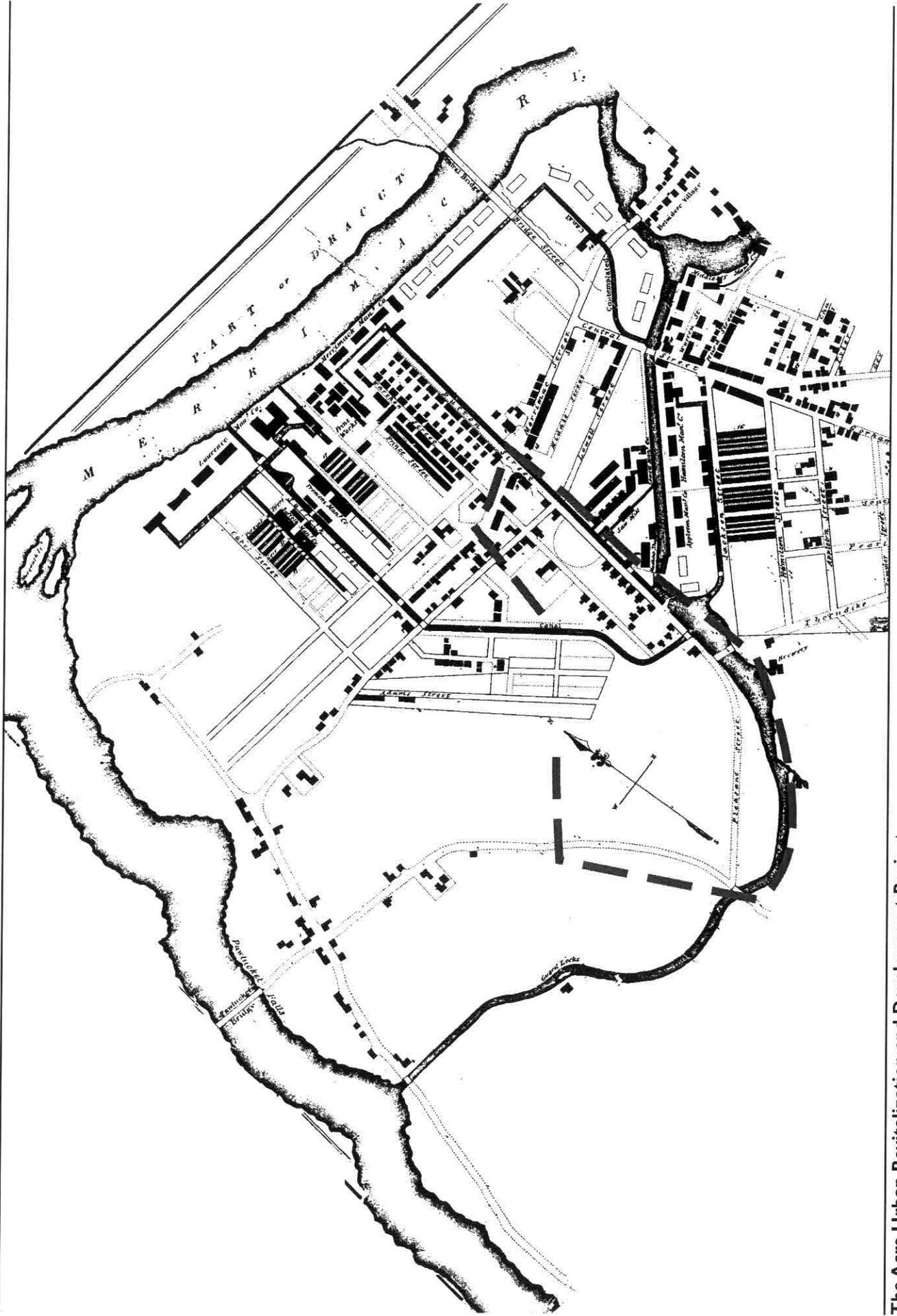
**Lowell Division of Planning
& Development**

Wallace, Floyd, Associates Inc.

with Stockard & Engler & Brigham
The Miller Group Inc.

Historic Photos

Source: "Lowell: The Story of an Industrial City" the
Official National Park Handbook, 1992.



Historic Maps: 1832
Source: Lowell Historical Society

The Acre Urban Revitalization and Development Project
Lowell Division of Planning & Development
Wallace, Floyd, Associates Inc.
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CITY OF LOWELL

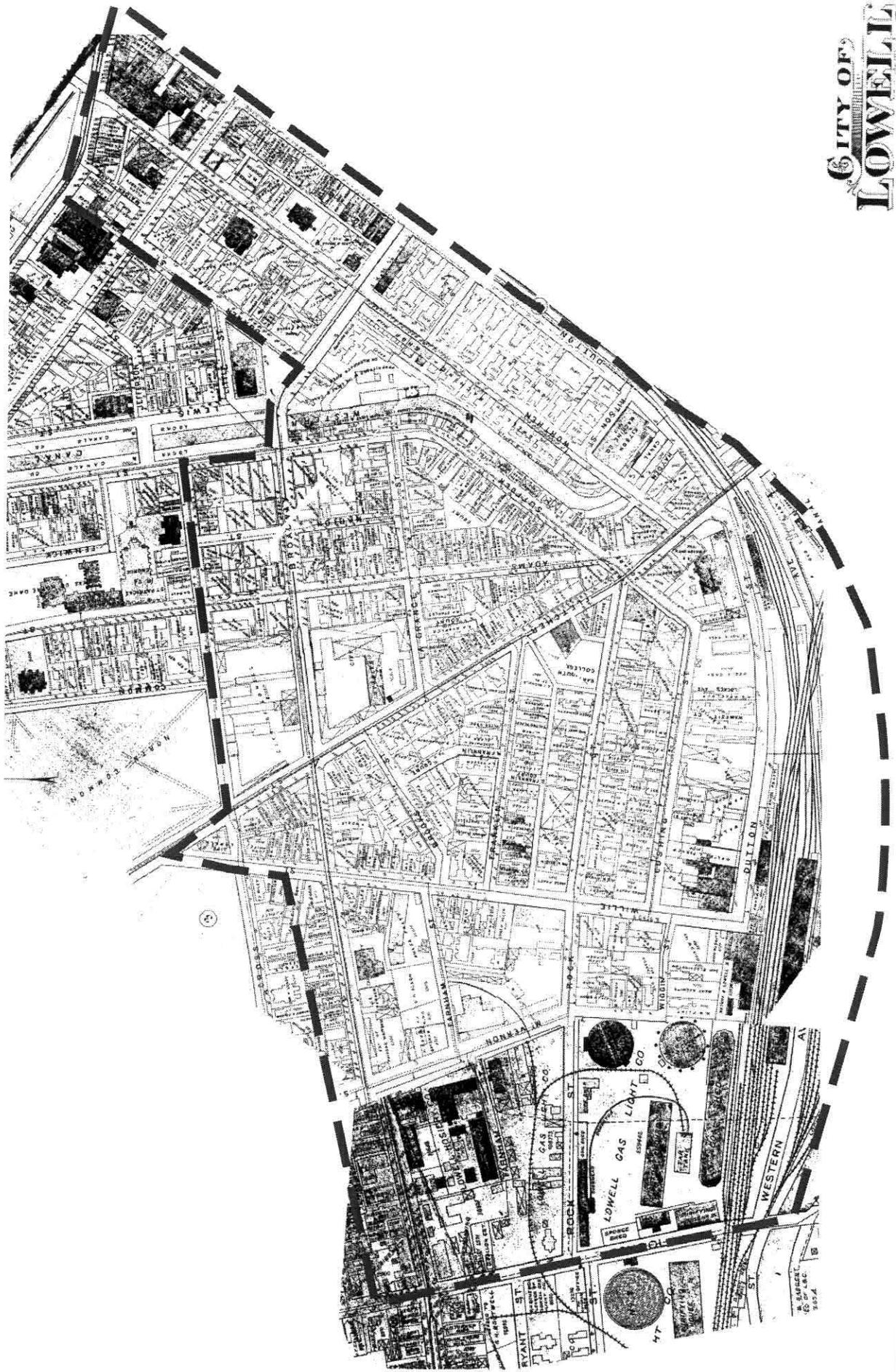
Historic Maps: 1879

Source: Sanborn Maps

The Acre Urban Revitalization and Development Project

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Historic Maps: 1906
Source: Sanborn Maps

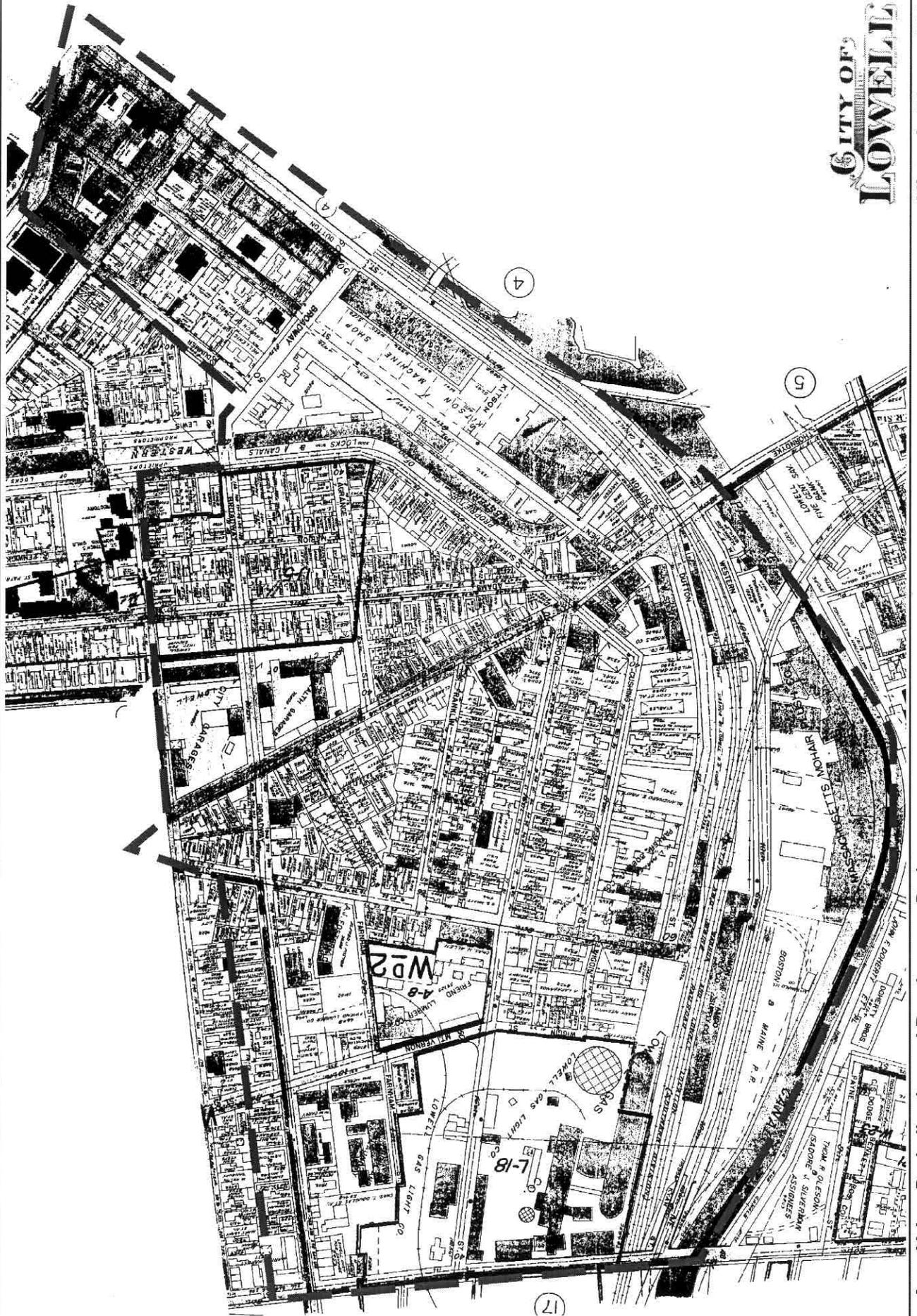
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CITY OF
LOWELL

Historic Maps: 1924
Source: Sanborn Maps

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CITY OF
LOWELL

Historic Maps: 1936

Source: Sanborn Maps

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**Lowell Division of Planning
& Development**

B. ZONING REGULATIONS

SECTION 31-32 TABLE OF USE REGULATIONS:

PRINCIPAL USES							IA P
		M-3	M-4	B-1	B-3	B-4	IPHR
1.	<u>RESIDENCE USES</u>						
a.	Detached dwelling occupied by not more than one family.	Y	Y	SP	SP	Y	SP
b.	Two family or semi-detached.	Y	Y	SP	SP	Y	N
c.	Multi-family dwelling.	Y	Y	SP	SP	Y	N
d.	Trailer.	N	N	N	N	N	N
e.	Non-family accommodations:						
1.	Tourist home	Y	N	SP	SP	SP	N
2.	Lodging house, fraternity	SP	SP	SP	SP	SP	N
3.	Dormitory	SP	N	SP	SP	SP	N
4.	Hotel	SP	N	Y	Y	Y	SP
5.	Motel	SP	N	Y	Y	Y	SP
2.	<u>CONVERSION OF DWELLING STRUCTURE</u>						
a.	Existing one-family detached dwelling converted for not more than two families, where all dimensional and other requirements are met provided that in Residence S1 and S2 Districts the exterior design of the structure is not changed and the house being converted is more than forty years old and has a minimum of 3,000 sq. ft. of floor space used for living purposes. Minimum lot area per dwelling unit shall be 7,000 sq. ft. for S1 District and 5,000 sq. ft. for S2 District.	SP	SP	SP	SP	SP	N
b.	Other dwellings converted for more than two families; where all dimensional and other requirements are met.	SP	SP	SP	SP	SP	N
3.	<u>INSTITUTIONAL, RECREATIONAL AND EDUCATIONAL USES</u>						
a.	Place of worship.	Y	Y	Y	Y	Y	Y
b.	Religious, sectarian, denominational, private school or college not conducted as a gainful business.	Y	Y	Y	Y	Y	Y
c.	Licensed day nursery school or kindergarten.	SP	SP	SP	SP	SP	SP
d.	Library or museum open to the public or connected with a permitted educational use and not conducted as a gainful business.	Y	Y	Y	Y	Y	SP
e.	Recreational facility owned or operated by a non-governmental agency, subject to the following provisions:						
1.	That the use shall not be conducted as a private or gainful business	SP	SP	Y	Y	Y	SP
2.	Indoor or outdoor activities connected therewith shall be at least 100 feet from any lot line in residential districts						
f.	Entertainment and recreational facilities operated as a gainful business.	N	N	SP	SP	SP	Y

							IA P
PRINCIPAL USES		M-3	M-4	B-1	B-3	B-4	IPHR
g.	Community center, adult educational center, settlement house, humane society, or other similar facility operated by an educational non-profit or religious institution subject to the same restrictions as in "e" above.	SP	SP	SP	SP	SP	SP
h.	Private non-profit club or lodge operated for members only.	SP		SP	Y	SP	SP
i.	Licensed hospital or other licensed establishment for the care of sick, aged, crippled or convalescent persons.	SP	SP	SP	Y	SP	N
j.	Cemetery.	SP	SP	SP	N	N	N
<hr/>							
4.	<u>RETAIL BUSINESS AND CONSUMER SERVICE USES</u>						
a.	Stores - 5,000 square feet or less gross floor area per establishment, primarily serving the local retail business needs of the residents.	N	N	Y	Y	Y	SP
	<u>Eating Places</u> - including but not limited to lunch room, restaurant, cafeteria, places for sale and consumption of beverages, ice cream etc., primarily in enclosed structures with no dancing or entertainment other than music. <u>Service Business</u> - including: 1. Barber, beauty shop, laundry and dry cleaning pick-up agency, shoe repair, self-service laundry or other similar uses 2. Hand laundry, dry cleaning or other similar use, provided personnel on premises is limited to five employees 3. Printing shop, photographers studio, career, or other similar use, provided personnel on premises is limited to five employees	N	N	Y	Y	Y	SP
b.	Store and businesses as in 3a, but when they are greater than 5,000 square feet of gross floor area per establishment.	N	N	SP	Y	Y	SP
c.	Place for the sale and consumption of food and beverages exceeding 5,000 square feet of gross floor area, or providing dancing and entertainment.	N	N	SP	Y	Y	SP
d.	Bar or other establishment where alcoholic beverages are sold and consumed and where dancing or entertainment is provided; dance hall or similar place of entertainment.	N	N	SP	Y	Y	SP
e.	Stores serving the general retail need of a major part of the city, including but not limited to general merchandise department store, furniture, household goods.	N	N	SP	Y	Y	SP
f.	Office, display of sales of a wholesale jobbing or distributing establishment, provided that no more than twenty-five percent of floor space is used for assembling, packing and storing of commodities.	N	N	SP	Y	Y	Y

PRINCIPAL USES		M-3	M-4	B-1	B-3	B-4	IPHR
g.	Office or clinic for medical or dental examination or treatment as out-patient, including laboratories incidental thereto.	N	N	Y	Y	Y	SP
h.	Place of business of a bank, trust company.	N	N	Y	Y	Y	Y
i.	Veterinary establishment, kennel or pet shops or similar establishment provided that in business districts all animals are kept indoors and there are no noise or odors perceptible from adjoining establishments or buildings.	N	N	SP	SP	SP	SP
j.	Trade, professional or other schools conducted as a gainful business.	N	N	SP	Y	Y	SP
k.	Funeral establishment and Undertaking.	SP	N	SP	SP	SP	Y
5. OPEN AIR OR DRIVE-IN RETAIL AND SERVICE							
a.	Sales place for flowers, garden supplies, agricultural produce conducted partly or wholly outdoors, commercial green house or nursery.	N	N	Y	Y	Y	Y
b.	Drive-in restaurant or refreshment stand.	N	N	SP	Y	SP	SP
c.	Place for exhibition, lettering or sale of gravestones.	N	N	SP	SP	SP	SP
d.	Drive-in bank, other than a bank, retail or consumer service establishment where motorist does not have to leave his car.	N	N	Y	Y	SP	SP
e.	Open air or drive-in theater or other open air place of entertainment or athletics conducted for profit.	N	N	N	SP	N	SP
f.	Open lot storage of new building materials, machinery and new metals but not including junk, scrap metal, rags, waste paper and similar materials provided the area so used is enclosed by a 6 foot high wall or tight fence.	N	N	N	N	N	SP
g.	Open lot storage of used lumber or other building materials, provided that the area so used is surrounded by a 6 foot high wall or tight fence.	N	N	N	N	N	SP
h.	Open lot storage of coal, coke, sand or other similar materials, or such storage in silos or hoppers, provided the area so used is surrounded by a 6 foot wall or tight fence.	N	N	N	N	N	SP
6. AUTOMOTIVE AND RELATED USES							
a.	Sales place for new or used cars conducted entirely with a building, or rental agency for autos, trailers, or motorcycles conducted entirely within a building provided no major repairs are made.	N	N	SP	Y	Y	Y
b.	Sales and storage place for new or used cars conducted partly or wholly on an open lot, or rental agency for automobiles, trailers, motorcycles conducted partly or wholly outdoors.	N	N	SP	SP	N/SP	SP
c.	Automotive service station (filling station) where no major repairs are made provided that all lubrication and minor repairs are carried out inside the building.	N	N	SP	SP	SP	Y

							IA P
PRINCIPAL USES		M-3	M-4	B-1	B-3	B-4	IPHR
d.	Automotive repair garage provided all servicing and repairs are carried out inside the building.	N	N	SP	SP	SP	Y
e.	Car washing establishment using mechanical equipment for purposes of cleaning automobiles and other vehicles.	N	N	SP	SP	SP	Y
f.	Parking lots or garages other than those provided as an accessory use to the principal use being conducted on the lot, in conformance with this zoning code.	N	N	SP	SP	SP	SP
g.	A private garage or parking area, whether as a principal use of a lot or as a secondary use solely for the stored cars of residents of other lots located within 400 feet and within the same district, when found by the Board of Appeals to be necessary in residence districts to provide off-street parking for such vehicles.	SP	SP	N	SP	SP	N
h.	Parking area, abutting or across the street from a non-residence district, for the parking of passenger cars of employees, customers or guests of establishments in the adjoining non-residence district, provided no charge is made for parking, and no sales or service operations are performed.	N	N	N	SP	SP	SP
<u>7. UTILITIES AND PUBLIC SERVICE USES</u>							
a.	Public utility or service facilities.	SP	SP	SP	Y	SP	Y
<u>8. GENERAL OFFICE AND LABORATORY USE</u>							
a.	General offices for commercial or professional use, Telephone Answering Service.	N	N	SP	Y	Y	Y
b.	Radio or television studio.	N	N	SP	Y	SP	Y
c.	Radio or television transmission stations including towers.	N	N	N	Y	N	Y
d.	Laboratories or research facilities, provided any manufacturing is incidental to the operation of the facility, does not exceed fifty percent of the gross floor area of the building and is not injurious to the surrounding area by nature of dust, noise, smoke, and odors.	N	N	N	Y	N	Y
<u>9. INDUSTRIAL USES</u>							
a.	Light industry, wholesale business and storage:						
1.	Distribution center, delivery center, warehouse	N	N	N	SP	N	Y
2.	Steam laundry or dry cleaning plant	N	N	N	Y	N	Y
3.	Food and beverage manufacturing, bottling or processing and commissary	N	N	N	SP	N	Y
4.	Storage warehouse, cold storage plant, storage buildings but not including open storage or bailing of junk, scrap metal, rags, waste paper or used rubber	N	N	N	N	N	N

PRINCIPAL USES	M-3	M-4	B-1	B-3	B-4	IPHR
5. Wholesale business and storage in a roofed structure, but not including wholesale storage or flammable liquids or gases	N	N	N	N	N	N
6. Manufacturing, assembly, reconditioning and processing plant	N	N	N	SP	N	Y
b. Heavy Industrial:						
1. RR freight terminals, shops and yards	N	N	N	N	N	N
2. Rendering or preparation of grease tallow, fats and oils, manufacture of shortening, table and other food oils but not including garbage, dead animals, offal or refuse reductions	N	N	N	N	N	N
3. Stone cutting, shaping and finishing in completely enclosed buildings	N	N	N	N	N	N
4. Dismantling or wrecking of used motor vehicles and storage and sale of the parts provided that open lot storage shall not exceed 12 feet in height and that the area so used shall be enclosed by a tight wall or fence of at least the same height of the material so stored, provided that the height of the material shall not exceed 20 feet	N	N	N	N	N	N
5. Truck or bus terminal, yard or building for storage or servicing of trailers, trucks or busses and parking lot for trucks	N	N	N	N	N	Y
6. Processing of sand and gravel and the manufacture of bituminous concrete	N	N	N	N	N	N
7. Open lot storage of junk, scrap, rags, paper, junked vehicles and other similar salvage articles	N	N	N	N	N	N
8. Manufacture, processing, assembly or other industrial operations subject to Building and health Department Regulations without limit as to category or product except as otherwise listed in this subsection 8, or as hereinafter prohibited, provided that (a) all dust, fumes, odors, smoke or vapor are effectively confined to the premises or so disposed of as to avoid air pollution, and (b) any noise, vibration or flashing are not normally perceptible without instruments at a distance of 500 feet from the premises, but the following are expressly prohibited: (a) stockyard or abattoir (b) petroleum refining (c) smelting of zinc, copper or iron ores (d) incineration or reduction of garbage, offal or dead animals except as conducted by the City of Lowell (e) cement, lime or gypsum manufacture (f) explosives or fireworks manufacture	N	N	N	SP	N	SP
9. Gravel or material removed	SP	SP	SP	SP	SP	SP

PRINCIPAL USES		M-3	M-4	B-1	B-3	B-4	IA P IPHR
10.	<u>CONDITIONAL USES</u>						
a.	Planned Unit Development.	SP	SP	N	SP	SP	SP
b.	Expansion or alteration of existing legal non-conforming use.* * Applicant must provide proof of legal non-conformity. Board of Appeals must find that change will be less detrimental than existing non-conforming use.	SP	SP	SP	SP	SP	SP
11.	<u>USES PROHIBITED OR NOT COVERED BY TABLE</u>						
a.	A specific principal use or activity prohibited by the "N" designation or not covered in the preceding Table cannot be varied or authorized by the Board of Appeals in any district in which the land or structure is located. An Applicant desiring to conduct such a use of activity not authorized will need to apply for amendment to the zoning code in the manner provided for by Chapter 40A, the State Zoning Act.	N	N	N	N	N	N
12.	<u>SCIENTIFIC ACCESSORY USES</u>						
a.	Scientific Uses which are necessary in connection with scientific research, scientific development or related production activities which are permitted in the above tables.	N	N	N	N	N	SP

TABLE OF DIMENSIONAL REQUIREMENTS

<u>District</u>	<u>Max Floor Area Ratio</u>	<u>Min Lot Size (sq. ft.)</u>	<u>Min Lot Area Per D.U. (sq. ft.)</u>	<u>Min Lot Frontage (FT)</u>	<u>Min Front Yard (FT)</u>	<u>Min Side Yard (FT)</u>	<u>Min Rear Yard (FT)</u>	<u>Useable** Open Space (% of gross floor area)</u>	<u>Max Hgt</u>	<u>Max Stories</u>
M3	1.5	6,000	1,000	50	15	10	20	20	65	7
B3	4.0	-----	-----	25	--	--	--	--	--	--
New M4	1.5	3,400	850	40	0*	10 sum of 20	20	--	35	3
New B4**	4.0	-----	-----	25	--	--	--	--	--	--

*Front setbacks in the M4 district should be consistent with existing setbacks on block.

**A dwelling in the B4 district shall be subject to the same dimensional, parking and useable open space requirements as a dwelling in the M4 district, except for height.

- 4.12 Off-premise advertising signs shall be prohibited, but off-premise sign directory boards may be permitted in certain locations where visibility is a significant problem (such as within a millyard, or along a dead-end street, for example), where they can be harmoniously integrated into the surroundings.

4.2 Location and Size of Signs

- 4.20 Signs must not dominate buildings façades or obscure their architectural features (arches, transom panels, sills, moldings, cornices, windows, etc.,).
- 4.21 The size of signs and individual letters shall be an appropriate scale for pedestrians and slow-moving traffic. Projecting signs shall generally not exceed nine square feet, on first floor level.
- 4.22 Signs on adjacent storefronts should be coordinated in height and proportion. The use of a continuous sign-band extending over adjacent shops within the same building is encouraged, as a unifying element.
- 4.23 Portable signs located on sidewalks, driveways or in parking lots are strongly discouraged, and shall generally be prohibited unless there is no other reasonable means to convey the information (such as on windows, walls or on permanent sign posts).
- 4.24 Wall signs shall generally be located no higher than the window sill line of the second story.
- 4.25 Signs displayed during business hours only, such as those which are removed every evening and displayed again the following morning, constitute an on-going advertisement format and shall be construed as being permanent signs rather than temporary signs, if such display continues for more than thirty calendar days. The date when such sign was first displayed shall be affixed to the sign so as to be readily seen.

4.3 Messages and Lettering Signs

- 4.30 Messages should be as simple and brief as possible. The use of pictorial symbols or logos is encouraged.
- 4.31 Lettering should be of a traditional block or curvilinear style which is easy to read and not incompatible with the style of the building. No more than two different styles should be used on the same sign.
- 4.32 Letters shall be carefully formed and properly spaced, to be neat and uncluttered. Generally, no more than 60% of the total sign area shall be occupied by lettering.
- 4.33 Lettering shall generally be flat or raised (rather than incised, which represents an earlier era predating Lowell).

4.4 Color

- 4.40 Light-colored letters on a dark-colored background are generally required, as being more traditional and visually less intrusive in the context of Lowell's red-brick streetscapes.

4.41 Colors should be chosen to complement, not clash, with the façade color of the building. Signs should normally contain not more than three different colors.

4.5 Materials and Illumination

4.50 The use of durable and traditional materials, is strongly encouraged (metal and wood). All new signs shall be prepared in a professional manner. Paper signs for advertising or identification purposes shall be allowed for not more than 30 days, as temporary signage, and shall not be attached directly to the glass. The date on which a paper sign was first displayed shall be written on the sign, so as to be readily seen.

4.51 In general, any illumination used shall be external, non-flashing, and glareless.

4.52 Internal illumination is generally discouraged, but it may be appropriate in certain circumstances, such as:

4.521 individual back-lit letters which are silhouetted against a softly illuminated wall.

4.522 individual letters with translucent faces, containing soft lighting elements inside each letter, and

4.523 metal-faced box signs with cut-out letters and soft-glow fluorescent tubes.

However, such signs are generally suitable only on contemporary buildings.

4.53 Neon signs may be permitted in exceptional cases where they are custom-designed to be compatible with the building's historic and architectural character.

4.6 Other Stylistic Points

4.60 The shape of a projecting sign shall not be incompatible with the period of the building to which it is affixed, and shall harmonize with the lettering and symbols chosen for it.

4.61 Supporting brackets for projecting signs should complement the sign design, and not overwhelm or clash with it. They must be adequately engineered to support the intended load, and generally should conform to a 2:3 vertical-horizontal proportion. Screw holes must be drilled at points where the fasteners will enter masonry joints, to avoid damaging bricks, etc.

5. OTHER DEVELOPMENTS

5.1 Pedestrian Amenities

5.10 While pedestrian amenities must be compatible with the City's historic character, variations shall be permitted in order to respect the vitality and the variety of the City's different thoroughfares and neighborhoods.

5.11 Different types of public spaces should respond to the following general performance criteria:

- Commercial Streets shall be treated simply with maximum open sidewalk space, minimal obstruction on the ground and pedestrian preferences for street crossing.
- Historic, Non-Commercial Pedestrian Streets and Walks shall have a smaller scale, more intimate design using textures and smaller elements that stimulate interest along the path.
- Millyards shall be restored as historic places open to the public.
- Canal and Riverfronts were not typically pedestrian spaces in 19th century but should be opened up to the public due to their historic interest and value as a public amenity.
- Parking Areas must be carefully designed and landscaped due to their large size and first-impression impact upon visitors.
- Parks should play a special role in historic interpretation and provide day-time cultural activity for the District as well as relief from paved areas.

5.2 Streetscapes

5.20 Paving and Planting

5.201 The existing streetscape should be enriched, especially around historic buildings and heavily used pedestrian area. Historically appropriate improvements should create some consistency while avoiding complete uniformity.

5.202 Historic paving features shall be retained wherever possible and incorporated into the streetscape improvements.

5.203 Subtle variations in paving patterns and materials shall be retained wherever possible and incorporated into the streetscape improvements.

5.204 Planting shade trees and shrubs shall be encouraged where they would enhance the historic character or create more inviting spaces. Removal of healthy trees over 3" in diameter, measured for feet above ground level, shall be discouraged, except where they threaten existing structures and canal walls.

5.21 Street Furniture

5.211 Placement of street furniture which is appropriate to the context, attractive, and durable shall be encouraged. Placement of furniture shall be based upon careful study of how people tend to use a street.

5.22 Lights, Signs, and Traffic Signals

5.221 Public signs shall utilize compatible graphics, colors, proportions, dimensions, and fabrication methods, in order to create greater consistency and improve their compatibility with their historic setting.

5.222 Streetlights shall be designed to harmonize with their surroundings, and traffic signal poles and mounts shall be as unobtrusive as possible, both physically and visually.

5.3 Transportation Facilities

5.30 Parking

5.301 Where off-street parking provision is necessary, vehicles shall be accommodated in multi-story structures which are sensitively designed to fit into their architectural context. Removal of buildings to create ground-level parking space shall generally be prohibited.

5.302 Ground level parking spaces proposed to be located on existing open land shall be adequately landscaped utilizing a combination of shade trees and shrubs for screening.

5.31 Transit Shelters

5.311 The design of transit shelters at bus stops shall provide visual focal points, and contemporary approaches that integrate well with the historic setting shall be encouraged.

5.312 Shelters at trolley stops shall be designed to reflect the era of the rolling stock which serves them.

5.4 Open Space

5.40 Canal and Riverbanks

5.401 The historic character and the environments associated with canal and riverbanks shall be protected.

5.402 Public pedestrian access, safety, and enjoyment shall be considered when construction is proposed adjacent to a canal or river.

5.41 Urban Parks

5.411 Existing parks shall be preserved and enhanced.

5.412 The removal of existing structures to create new parks shall be discouraged, in order to protect the urban scale and texture of the downtown historic district.

5.5 Fencing and Screening

5.50 Fencing

5.501 Fences not used for visual screening shall be designed to harmonize with various types, traditional metal railings (such as around parks and along canals).

5.51 Screening

5.511 Outdoor storage areas and other uses which are to be screened from view shall be enclosed with an opaque fence or wall built of traditional materials (such as wood or brick) in a manner which is not inconsistent with the historic character of the district.

5.6 Canalway Development

- 5.60 New structures shall be oriented toward the Canals not only visually, but also functionally wherever practicable. Two “fronts”, one facing the Canal, should be designed for every new building constructed along the Canalway.
- 5.61 An urban edge (line of buildings) shall be maintained along Canal banks except in landscaped areas developed for private or public space.
- 5.62 New above-grade utility lines, storage areas, or parking lots shall generally not be located adjacent to Canal banks.
- 5.63 All new open air uses (except open space) on land visible from the Canalway shall be visually acceptable to the water edge or screened in an effective and attractive manner, consistent with the materials and landscaping standards of the Historic Board. (See section 5.30 dealing with parking lot buffer standards).
- 5.64 Access shall be provided for pedestrians along Canal banks (minimum 20 feet wide) wherever shown as necessary on the Canalway Plan map to ensure continuity of footpaths and walking routes.
- 5.65 New railings, where necessary for safety, shall be similar to historic railings along the Canalway for consistency and historical appropriateness.
- 5.66 Public access to the Canalway corridor from nearby streets, parking lots, and adjacent buildings shall be provided for pedestrians.

6. WAIVERS

- 6.1 Where the Historic Board finds that extraordinary and unnecessary hardships may result from strict compliance with these standards, or where there are exceptional circumstances, it may vary these standards so that substantial justice may be done. In order to issue a waiver, a majority of at least six members shall make specific factual findings demonstrating that:
 - 6.10 Strict application of the standards would be inappropriate due to particular circumstances pertaining to the property, and
 - 6.11 Such waiver would not violate the spirit of the standards, and would be consistent with the intent of the statute to protect Lowell’s historical architectural heritage.
- 6.2 In granting waivers, the Historic Board may require such conditions as will, in its judgement, secure substantially the objectives of the standards which have been waived.

APPENDIX: Determination of Economic Hardship

Application for a Certificate of Economic Hardship shall be made on a form prepared by the Lowell Historic Board. The Historic Board shall schedule a public hearing concerning the application and any person may testify at the hearing concerning economic hardship.

The Historic Board may solicit expert testimony or require that the applicant for a Certificate of Economic Hardship make submissions concerning any or all of the following information before it makes a determination on the application.

1. Estimate of the cost of proposed construction, alteration, demolition, or removal and an estimate of any additional cost that would be incurred to comply with the standards of the Historic Board for changes necessary for the issuance of a Historic Permit.
2. A report from a licensed engineer or architect with experience in rehabilitation as to the structural soundness of any structures on the property and their suitability for rehabilitation.
3. Estimated market value of the property in its current condition; after completion of the proposed construction, alteration, demolition, or removal; after any changes required by the Historic Board; and, in the case of a proposed demolition, after renovation of the existing property for continued use.
4. In the case of proposed demolition, an estimate from an architect, developer, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property.
5. Amount paid for the property, the date of purchase, and the party from whom purchased, including a description of the relationship, if any, between the owner of record or applicant and the person from whom the property was purchased, and any terms of financing between the seller and buyer.
6. If the property is income-producing, the annual gross income from the property for the previous two years; itemized operating and maintenance expenses for the previous two years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period.
7. Remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two years.
8. All appraisals obtained within the previous two years by the owner or applicant in connection with the purchase, financing, or ownership of the property.
9. Any listing of the property for sale or rent, price asked, and others received, if any, within the previous two years.
10. Assessed value of the property according to the two most recent assessments.
11. Real Estate taxes for the previous two years.
12. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit incorporating limited partnership, joint venture, or other.

C. DESIGN GUIDELINES

Proposed Amendments to Existing Design Guidelines

The Urban Revitalization and Development Plan should be included by reference as a component of the Design Guidelines.

Section 2.3 Changes to Structures

Add to 2.3012...

Siting – the relationship of the structure to the street and adjacent properties established by setbacks from the street, sidewalk, or property lines.

Section 2.32 Major Building Elements

Under Storefronts, add...

If security grills are installed as part of a new or rehabilitated storefront, they must be incorporated into the store design not simply attached to the façade. Roll down open grills are preferred because they allow store displays and the store interior to be seen from the street. Accordion screens must be concealed from sight when not in use, and the use of solid type roll down grilles is discouraged.

Section 4.2 Location and Size of Signs

Add paragraph 4.26...

Signs displayed in or painted on windows should be sized and placed to maximize the visibility of the store interior and window display. Temporary paper signs announcing special sales, events, or other information should be displayed in a balanced way to maximize visibility and removed when the event is over.

Section 5.2 Streetscapes

Add paragraph 5.205

If tree planting is part of major street or sidewalk reconstruction, alternatives to traditional tree pits, such as tree vaults and structural soil mixes, should be considered to promote tree growth.

Section 5.22 Lights, Signs, and Traffic Signals

Add to paragraph 5.223

Style, scale, and color of fixtures should match to the extent possible.

Section 5.30 Parking

Add paragraph 5.303...

Where off-street parking abuts a sidewalk for a length greater than 20 feet, a wall or fence in an appropriate style to match the historic context, shall be required to reinforce the street edge. This should not be considered a substitute for landscaping as described in 5.302.

Review Standards of the Lowell Historic Board

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1. PURPOSES

- 1.1 The purpose of the Standards is to guide rehabilitation and construction in the Downtown Lowell Historical District so that the integrity of Lowell's 19th century setting is not disrupted. Development of the Standards is a major responsibility of the Lowell Historic Board as mandated by State Statute (Chapter 566 of the Acts of 1983).
- 1.2 The Standards are intended to ensure that properties in historic Lowell are not altered improperly, or used in a manner that substantially detracts from the intentions of the Act.
- 1.3 The goal is to minimize reliance on the individual tastes and preferences of those who happen to be awarding permits and instead set up clear rules that everyone will understand.

2. EXISTING STRUCTURES

2.1 Removal of Structures

2.10 Demolition

2.101 There shall be a presumption toward retaining all existing buildings except those rated "D" in the Index of the document entitled "Details of the Preservation Plan", published by the Lowell Historic Preservation Commission (available from the Historic board Administrator).

2.102 Demolition shall be allowed only when the new construction relates better to the Historic District than does the existing building, and when all the other requirements below are satisfied.

2.1021 A prerequisite for demolition shall be an application for Certificate of Economic Hardship, which shall contain a financial report detailing the costs of rehabilitation, and evidencing that the existing building is incapable of producing a reasonable economic return on the investment. The maximum rate of return which is theoretically possible on the land, with new buildings, shall not constitute such evidence, if the existing buildings can generate a reasonable return (See Appendix).

2.1022 If an applicant's request for permission to demolish a structure or part of a structure is based upon structural instability or advanced deterioration, a technical report prepared by an architect or professional engineer registered in Massachusetts shall be submitted, detailing the nature and extent of specific problems, and providing reasonably accurate cost estimates for their correction.

2.1023 Applications for permission to demolish existing structures shall be accompanied by complete plans for the new development proposed on the site, together with a timetable and a budget for both the demolition and the reconstruction, as well as satisfactory evidence that adequate financing is available.

2.1024 A standard condition of approval for demolition shall be the documentation of the building's elevations, including details of specific notable architectural features (windows, doors, cornices, etc), through measured drawings and photographs. Such data shall be provided according to the procedures established by the Historic American Building Survey.

2.1025 Where public safety needs require the removal of part of a building or complex, for example to enable access by fire-fighting equipment, the Board may allow limited removal of structurally-sound construction. The extent of removal shall be the smallest necessary to permit the delivery of essential public safety services, and shall generally not exceed 5% of the floorspace of the building or complex.

2.11 Relocation

2.111 Buildings shall be retained on their present sites whenever possible. Relocation shall be considered only as an alternative to demolition. Standards 2.1021, 2.1023 and 2.1024 above shall apply.

2.112 Buildings shall be relocated only to sites where they would be compatible with the architectural, cultural and landscape surroundings.

2.2 Minimum Maintenance

2.20 Owners of all buildings shall provide sufficient maintenance to keep such buildings from falling into a state of poor repair. This provision shall apply to the exterior portions of such structures are regulated by the Act Establishing the Downtown Lowell Historic District, and also to the interior portions which, if not adequately maintained, would tend to cause the exterior portions to deteriorate or become damaged.

2.21 Owners shall therefore be responsible for taking at least the minimum steps necessary to prevent the deterioration of the following items, which could cause either an unsafe condition or a detrimental effect upon the character of the Historic District or which could lead to a later claim that deterioration has become so advanced that demolition or removal of the architectural features is necessary:

2.211 Foundations, exterior walls or other vertical supports (exterior or interior);

2.212 Roofs or other horizontal members (including joists, beams, etc.);

2.213 Chimneys or chimney support system;

2.214 Architectural features (including but not limited to window and door trim, parapets, roof cresting, cornices);

2.215 Rainwater drainage systems (gutters, downspouts) whether exterior or interior;

2.216 Water-proofing systems (roofing, flashing, windows, doors, paint on wooden or corrosible metallic surfaces); and

2.217 Any other elements which, if not adequately maintained, would eventually cause the building to crack, bulge, buckle, sag, rot, crumble, or collapse, in whole or in part.

2.22 In addition, the replacement of original support systems (either vertical or horizontal) with new members or elements (either interior or exterior), not adequately designed to carry normal loads, shall not be permitted.

2.23 In cases where deterioration has already progressed to an advanced stage, and where immediate removal is requested by the owner, the standards for demolition shall be applied. In all cases, where at all practicable, non-structural architectural features shall be repaired. In situations where it is impracticable to repair the feature, or prohibitively expensive to replicate it, it shall be stored safely until such time as it becomes financially possible to recreate the feature from the original pieces.

2.3 Changes to Structures

2.30 General Principles

2.301 Historic Architectural Character

2.3011 The historic architectural character of each building shall be maintained or restored. Buildings shall be rehabilitated to reveal their historic materials and details. Missing architectural elements shall be recreated wherever feasible. Significant existing materials shall be retained wherever possible, by stabilizing, repairing or matching them with compatible new materials as required.

2.3012 The architectural character of each historic period is made up of several key factors. Each period interpreted these design elements in its own characteristic fashion. These factors or elements are:

Scale - relationship to human size, form and perception

Rhythm - the pattern of repeating elements such as windows, columns, arches and other façade elements

Form - overall shapes, combinations of shapes as seen from different perspectives, skylines and contours

Massing - height, setback and major dimensions

Proportion - the relationship among the dimensions of various elements

Features - building elements such as windows, doors, cornices, roofs, and decorative trim

Materials - the “skin” of each building, consisting traditionally of brick, cast iron, steel, sheet metal, wood, glass, terra cotta, and slate

2.302 Commercial Streets

2.3.1.2.1 The commercial integrity of Lowell's Downtown Business District shall be protected against non-commercial designs at street level, through sensitive rehabilitation and new construction that provides a continuity of shops along the street frontages.

2.303 Mill Buildings

2.3031 Critical exterior features of the mills shall be preserved, including front façades, river and canal façades, courtyards incorporating such façades, and prominent elements, such windows, doors, towers, cupolas, and connector buildings or bridges.

2.3032 Sufficient flexibility shall be allowed to encourage economically viable utilization of the millspace, including adaptive new uses, consistent 2.3.1.3.1. above.

2.3033 Rehabilitation of existing interior features shall be encouraged. Uses which highlight these interiors (exposed brick walls, heavy timber framing, etc.) and/or interpret the industrial or social history, shall also be encouraged.

2.304 Residential Buildings

2.3.1.4.1 The vitality of Lowell's residential neighborhoods shall be enhanced by restoring and preserving residential buildings while respecting the historic character created by the various architectural features defining roof and façade.

2.31 Historic Materials and Colors

2.311 Masonry: Masonry shall be returned to a serviceable and visually acceptable state by replacing missing masonry units and mortar with matching elements, and repointing and stabilizing using proper techniques and materials. Cleaning shall be accomplished using the gentlest effective means possible, so as not to damage either the masonry unit or the mortar joints. Cleaning specifications shall be submitted to the Historic Board for review prior to commencement of the work. Coatings to stabilize or waterproof masonry shall be permitted only if they have been proven not to block the masonry's water vapor permeability, or contribute to its long-term deterioration.

2.312 Wood: Missing or deteriorated wooden features shall be sensitively replaced with new wood milled to match the original elements, and existing features shall be repaired wherever necessary.

2.313 Metals: Missing or deteriorated architectural metals shall be replaced with original or substitute metal fabrications or other visually compatible and durable features manufactured from acceptable alternative materials.

2.314 Colors: Architectural features shall be restored with colors and finishes appropriate to the nature of the materials and to the character of the original building. Where original colors are not to be used, historic colors within the spirit of the period may be substituted.

2.315 Other: Where glass, plastic and/or aluminum architectural elements are an integral part of a building's original design, and where this design is deemed to be of a high aesthetic quality, consideration shall be given to preservation of these elements.

2.32 Major Building Elements

2.321 Storefronts: Existing historic storefronts shall be retained and rehabilitated. Generally, the term "historic" in these standards shall refer to the appearance of the building fifty or more years ago. Storefronts which have been altered or removed shall be restored or compatibly redesigned. Research must be done to discover each storefront's original appearance, and to learn what architectural features might be covered by existing siding or facing materials.

2.322 Doors: Existing historic doors shall be retained and rehabilitated wherever possible. Where doorways must be altered to meet current building code and safety requirements, doors and entranceways shall be designed also to respect the exterior architectural integrity of the building.

2.323 Windows: Existing historic windows shall be retained and repaired to improve thermal efficiency wherever possible. Where replacement is essential, new windows shall match the originals or be in character with the building. The original window type (hung sash, casement, pivot, awning, etc.) shall be retained as shall be the appearance of the individual lights of glass formed by the muntin grid. The original width and depth of the individual elements (such as exterior muntin) shall be reproduced or be closely approximated. If storm windows are to be used, they shall be applied from the interior. Replacement windows shall be of the same size as the historic windows, fill the entire window opening and be recessed in the opening the same depth as the historic window. Windows of completely different design on elevations not public view (on alleys or in areaways) may be considered.

2.324 Roofs: Features which give the roof its essential historical character shall be preserved or restored to the extent that it is visible from the ground. The principal considerations include the original roof shape; original roofing materials or materials compatible with the old in composition, size, shape, color and texture; and architectural details such as dormer windows, cupolas, cornices, brackets, chimneys, cresting, and weather vanes.

2.325 Industrial Hardware: Historically significant industrial hardware shall be preserved, and more recent equipment judged to be of a significant design shall be retained wherever feasible.

2.326 Mechanical Equipment: Essential outdoor mechanical equipment (ducts, fans, solar panels, etc.) shall be installed in locations which create

the least disturbance to the historical appearance of the building, and which involve the minimum alteration to its structural integrity.

3. NEW CONSTRUCTION

3.1 General Principles

- 3.10 Character: New construction on currently vacant sites shall be encouraged to create a tightly-knit urban environment reflecting Lowell's traditional character, embodied in the compactness and richness of its building types.
- 3.11 Continuity: New buildings should not be designed as free-standing objects, but instead shall generally conform with the tradition of continuous structures holding the lines of streets, canals, and riverfronts. The creation of interior courtyard space is encouraged.
- 3.12 Ground-Level Design: On commercial streets, ground-level building design shall generally follow existing patterns created by the type and scale of shops, street façades, sign design, shop window configurations, and materials traditional to Lowell's historic downtown character.
- 3.13 Materials: New buildings shall utilize exterior materials in keeping with the exteriors seen in the District, with natural textures being encouraged. Colors shall generally be compatible with the surrounding streetscape: however, non-traditional colors may be permitted if and when they are integral to a new architectural design.
- 3.14 Contemporary Approaches: New buildings shall generally utilize contemporary design ideas, but shall also respect and reflect the traditional scale, proportions, rhythms, and mood of historic structures. These traditional architectural values should be interpreted into contemporary building design, but the use of imitation historic building details and ornaments is discouraged. Building design must also be internally consistent, and amalgamations of historically unrelated stylistic elements shall generally be prohibited.
- 3.15 Directional Expression: Strongly horizontal designs shall be avoided, by dividing long horizontal façades into smaller vertically-oriented units that conform to the primary expression of the streetscape. Overly vertical or exaggerated expression in any direction shall be avoided.
- 3.16 Infill and Major: Different standards are applicable to infill sites and major sites because the former generally have greater impact upon their immediate neighbors, while the latter can have significantly larger impact upon the overall cityscape and skyline.

3.2 Infill Structures

- 3.20 Definition: New construction sites are considered "infill" if they cover less than one quarter the area of a city block and/or less than half of the frontage of a city block.
- 3.21 Harmony: Infill structures must blend in with the existing architectural fabric as seen from the street, and reinforce the feeling of continuity rather than stand out individually. The "General Principles" contained in Section 3.1. above shall also apply to infill structures.
- 3.22 Height: Infill structures, shall generally contain at least two stories above street level, and relate very closely to the height of the immediately adjacent buildings.

- 3.23 Setback: Infill structures shall generally continue the street setback parameters established by adjacent buildings, but exceptions can be made for arcade designs containing recessed fronts at sidewalk level, or for upper stories set back at least twenty feet.
- 3.24 Roofs: Infill structures shall generally not introduce new roof shapes, pitches or colors not found on traditional buildings located on the same block.
- 3.25 Wall Openings: Infill structures shall respect the alternation of window area to wall area, and the width-to-height ratio of windows and doors, in the façades of surrounding structures. Introducing incompatible façade patterns that upset the rhythm of openings established in historic buildings in the immediate area shall be prohibited.

3.3 Major Sites

- 3.30 Definition: Major sites are those which cover more than one-quarter the area of a city block and/or more than half the frontage of a city block, or sites located on blocks without any historic structures (i.e., those rated “A” or “B” on the Index of Properties).
- 3.31 Basic Approach: New construction shall generally recreate Lowell’s traditional tightly-knit urban fabric, with continuous wall-like structures along streets, riverbanks and canals, using contemporary designs adapted to new functional needs. Parking lots shall be located behind new and existing structures, to the greatest possible extent, so as not to be visible from streets, canals, and the river.
- 3.32 Height: Height control is critical along street, canal, and river frontages, and at the axis of major street vistas. Shadow and wind impacts are particularly important in active public pedestrian areas. In general, buildings in such area, within commercial or industrial districts shall generally be between two and five stories (or 25 to 60 feet) in height.
- 3.33 Parking Garages: Parking garages should harmonize with mill architecture by utilizing brick-faced exterior walls with window-type openings instead of the conventional designs which incorporate long horizontal openings between deck levels. On commercial streets, ground-level treatment should include storefronts.
- 3.34 Other: The “General Principles” contained in Section 3.1 above shall also apply to major new construction.

4. SIGNAGE

4.1 General

- 4.10 All new signs, and all changes in the appearance of existing signs displayed so as to be visible from streets, sidewalks, alleys, or canals, require a Historic Permit. This includes changes in message or colors on pre-existing signs.
- 4.11 If there is a conflict between these standards and the requirements in the City Sign Code, the stricter shall apply. These standards shall also be supplemented by the text of the Lowell Sign Book, which are incorporated herein by reference.

D. HOUSING SUMMARY TABLES

The Acre Revitalization and Development Plan

Lowell, Massachusetts

Summary of Change in Units

Existing	Track 1				Track 2				
	Rehab	New	Demo	Net	Rehab	New	Demo	Net	
Owner-Occupied									
1-Family	26	0	11	0	37	20	13	-6	44
2-Family	54	0	36	0	90	41	26	-13	103
Multi-Family	3	0	0	0	3	3	72	0	75
Sub-Total	83	0	47	0	130	64	111	-19	222
Investor-Owned									
1-Family	33	1	0	-2	31	23	0	-7	24
2-Family	62	4	0	-6	56	39	0	-13	43
Multi-Family	403	86	56	-27	432	218	86	-72	446
Sub-Total	498	91	56	-35	519	279	86	-92	513
TOTAL	581	91	103	-35	649	343	197	-111	735

Track 2:

Rehab owner-occupied units based on existing carryover. Rehab investor-owned based on 75% of Track 1 net less

Track 1 rehabs and new.

Track 2 new is difference between Track 1 net and Track 2 rehab (about 25% of the stock). 1 and 2-family units are moved to owner-occupied status.

81 new multi-families are remaining units to get to the 300 new unit threshold.

Track 2 demos are units removed (the 25% category) that are too dilapidated for feasible rehab. Assume 1-to-1 replace.

The Acre Revitalization and Development Plan

Lowell, Massachusetts

Housing Development Cost Summary

Track 1 - Urban Revitalization Plan

	<i>Private Financing</i>	<i>City Subsidy</i>	<i>Other Sources</i>	<i>TOTAL</i>
Rehabilitation				
1-Family	60,800	16,000	5,200	82,000
2-Family	167,200	92,000	40,000	299,200
Multi-Family	6,700,019	0	638,647	7,338,667
New Construction				
1-Family	836,000	220,000	71,500	1,127,500
2-Family	1,881,000	1,035,000	450,000	3,366,000
Multi-Family	5,453,504	0	519,829	5,973,333
TOTAL	15,098,523	1,363,000	1,725,177	18,186,700

Track 2 - Comprehensive Revitalization Program

	<i>Private Financing</i>	<i>City Subsidy</i>	<i>Other Sources</i>	<i>TOTAL</i>
Rehabilitation				
1-Family	2,614,400	688,000	223,600	3,526,000
2-Family	3,344,000	1,840,000	800,000	5,984,000
Multi-Family	17,217,491	0	1,641,175	18,858,667
New Construction				
1-Family	988,000	260,000	84,500	1,332,500
2-Family	1,358,500	747,500	325,000	2,431,000
Multi-Family	15,386,672	0	1,466,661	16,853,333
TOTAL	40,909,063	3,535,500	4,540,937	48,985,500
TOTAL	56,007,586	4,898,500	6,266,114	67,172,200

The Acre Revitalization and Development Plan

Lowell, Massachusetts

Single-Family Homeownership

SINGLE-FAMILY DEVELOPMENT BUDGET			<i>Comments</i>
Acquisition		0	acquisition through urban renewal program
Demolition		0	demolition through urban renewal program
Sitework		5,000	inc. on-site utilities, paving, etc.
Rehabilitation	60	87,000	1,450 sf 3-Bedroom home @ \$60/sf
TOTAL HARD COSTS		92,000	
Survey & Permits		1,000	
Architecture & Engineering		5,000	
Financing Fees	1%	1,200	
Real Estate Taxes		0	
Insurance		500	
Appraisal		0	
Environmental		500	
Legal, Title & Recording		750	
Construction Interest		550	
Marketing/Rent-up		0	
Developer Overhead		0	
Organizational Costs		0	
Contingency	10%	1,000	
TOTAL SOFT COSTS		10,500	
TOTAL DEVELOPMENT COSTS		102,500	
APPRAISED VALUE		80,000	based on recent sales comparables
DEVELOPMENT SOURCES			
Conventional Mortgage	95%	76,000	95% loan-to-value
CDBG Subsidy		10,000	based on City application guidelines
HOME Subsidy		10,000	based on City application guidelines
AHP Grant		2,500	based on State application guidelines
Other Equity	5%	4,000	5% downpayment from homebuyer
TOTAL DEVELOPMENT SOURCES		102,500	
DEVELOPMENT FINANCING			
Annual Principal & Interest		6,377	30-year loan term at 7.5% interest
Annual Real Estate Taxes		1,520	property tax rate of \$19 per \$1,000 value
Annual Mortgage Insurance		456	approximately .6% of total mortgage
Total Annual Mortgage Payment		8,353	
MINIMUM INCOME REQUIRED		27,843	housing costs at 30% of annual income

The Acre Revitalization and Development Plan

Lowell, Massachusetts

2-Family Development Pro-forma

2-FAMILY DEVELOPMENT BUDGET			<i>Comments</i>
Acquisition		0	acquisition through urban renewal program
Demolition		0	demolition through urban renewal program
Sitework		10,000	inc. on-site utilities, paving, etc.
Construction	60	132,000	1,000 sf (2-BR) & 1,200 sf (3-BR) at \$60/sf
Contingency	10%	16,000	
TOTAL HARD COSTS		158,000	
Survey & Permits		1,500	
Architecture & Engineering		10,000	
Financing Fees	1%	2,000	
Real Estate Taxes		700	
Insurance		1,000	
Appraisal		500	
Environmental		1,000	
Legal, Title & Recording		1,500	
Construction Interest		4,000	
Marketing/Rent-up		500	
Developer Overhead		3,000	
Counseling		500	
Contingency	10%	2,800	
TOTAL SOFT COSTS		29,000	
TOTAL DEVELOPMENT COSTS		187,000	
APPRAISED VALUE		110,000	based on recent sales comparables
DEVELOPMENT SOURCES			
Conventional Mortgage	95%	104,500	95% loan-to value
CDBG Subsidy		31,000	based on City application guidelines
HOME Subsidy		26,500	based on City application guidelines
AHP Grant		15,000	based on State application guidelines
Other Equity	5%	10,000	15% down-payment from homeowner
TOTAL DEVELOPMENT SOURCES		187,000	
RENTAL PRO-FORMA			
2-Bedroom Rental Income		8,532	based on 2-BR Fair Market Rent of \$711
(less) Vacancy & Bed Debt		(711)	based on one-month vacancy per year
ANNUAL RENTAL INCOME		7,821	
(less) OPERATING EXPENSES		(2,500)	inc. maintenance, utilities, admin, etc.
NET RENTAL INCOME		5,321	
DEVELOPMENT FINANCING			
Annual Principal & Interest		8,768	30-year loan term at 7.5% interest
Annual Real Estate Taxes		2,090	property tax rate of \$19 per \$1,000 value
Annual Mortgage Insurance		627	approximately .6% of total mortgage
Total Annual Mortgage Payment		11,485	
(less) 60% Net Rental Income		(3,193)	subject to financing requirements
Effective Annual Mortgage Payment		8,293	
MINIMUM INCOME REQUIRED		27,642	housing costs at 30% of annual income

The Acre Revitalization and Development Plan

Lowell, Massachusetts

3-Unit Rental & Development Pro-forma

3-UNIT DEVELOPMENT BUDGET			<i>Comments</i>
Acquisition		0	acquisition through urban renewal program
Demolition		0	demolition through urban renewal program
Sitework		20,000	inc. on-site utilities, paving, etc.
Construction	60	230,400	(2) 2-BR (1,000 sf) & 3-BR (1,200 sf) @ \$60/sf
Contingency	10%	25,000	
TOTAL HARD COSTS		275,400	
Survey & Permits		2,500	
Architecture & Engineering		15,000	
Financing Fees	1%	2,500	
Real Estate Taxes		800	
Insurance		1,000	
Appraisal		1,500	
Environmental		1,000	
Legal, Title & Recording		1,500	
Construction Interest		10,000	
Marketing/Rent-up		1,000	
Developer Overhead		3,000	
Counseling		800	
Contingency	10%	4,000	
TOTAL SOFT COSTS		44,600	
TOTAL DEVELOPMENT COSTS		320,000	
DEVELOPMENT SOURCES			
Conventional Mortgage		80,000	
CDBG Subsidy		0	
AHP Grant		15,000	based on State application guidelines
Other Grants		12,848	donations, loans, etc.
Tax Credit Equity		212,152	value of Low-Income & Historic tax credits
TOTAL DEVELOPMENT SOURCES		320,000	
RENTAL PRO-FORMA			
2-Bedroom Rental Income		17,064	based on 2-BR Fair Market Rent of \$711
3-Bedroom Rental Income		10,692	based on 3-BR Fair Market Rent of \$891
(less) Vacancy & Bed Debt		(1,943)	7% annual vacancy rate
ANNUAL RENTAL INCOME		25,813	
(less) OPERATING EXPENSES		(10,000)	inc. maintenance, utilities, admin, taxes, etc.
NET OPERATING INCOME		15,813	
(less) Debt Service		(11,903)	10-year loan term at 8.5% interest
NET CASH-FLOW		3,910	

E. CAC AND PUBLIC MEETING MINUTES

Revitalization Plan for the Acre Neighborhood -- Lowell, MA

Citizens Advisory Committee Meeting Notes

23 July 1998

Introductions / Overview of Process

Anne Barton of the Lowell Division of Planning and Development introduced the consultant team.

Carole Schlessinger of Wallace, Floyd, Associates introduced the project and the team members. Wallace Floyd will be doing project management, master planning, and urban design. Gordon Brigham of Stockard & Engler & Brigham will be assist with housing issues and the housing strategy of the master plan. Tom Miller of the Miller Group Inc. is an expert in urban renewal, and he will assist with the procedural and legal issues of the Urban Revitalization and Development Project process as well as with the development and design strategy.

Tom Miller provided an overview of the State's Urban Revitalization Program (previously known as Urban Renewal). He explained that this program is unlike urban renewal of the 1950s and 1960s. The goals of Urban Revitalization are to provide the tools and process for strategic changes in accordance with an accepted plan, not to clear large tracks of land for new development. Tom explained the process of qualifying the project area for the program and the local and state approvals that are needed before the City can submit a grant application.

Gordon Brigham explained that he will be meeting with city officials and housing professionals in the area to understand the specific housing issues in the neighborhood. He will be looking for patterns in owner occupied and absentee landlord housing and condition. From first impressions he believes there are opportunities to maintain and protect existing housing stock, provide new infill housing, and use the housing authority and CBA as a model of well managed property.

Questions

Can zoning changes happen before the adoption of the plan? *Tom explained that the city could adopt an interim zoning overlay district, to control uses before adoption of the plan.*

It appears that the emphasis of the project is on urban renewal and not master planning. *Carole Schlessinger clarified that the urban renewal process is one tool for implementing the master plan for the area. The Urban Revitalization Plan will include a Housing Plan, Development Plan, and a Design Plan for the area.*

Questions were raised about the disposition process for parcels that are acquired by the City under the plan. *The team explained that parcels have to be disposed in accordance with the plan.*

What is the role of the Citizen Advisory Committee? *It was explained that although the committee does not have a vote, or veto power, the State would not approve a plan that did not have the support of the advisory committee. The consultant team intends to develop a plan with widespread community support. The process will include two public meetings before the required public hearing in addition to monthly CAC meetings.*

Will all buildings on property that is acquired through eminent domain be demolished? *The team clarified that acquisition does not necessarily mean that buildings would be demolished. Buildings may be renovated, or partially demolished. Land will only be acquired to meet specific goals of the plan.*

How does money get distributed/spent once a grant is provided by the state to implement the plan? *Tom Miller explained that the City will sign a grant agreement with the state and provide monthly or quarterly reports about how money is being spend in accordance with the plan. There is also an amendment process through which the city, with the neighborhood's support, can make changes after the original plan is approved.*

Is there a danger of the project being a victim of its own success and gentrification taking place? *Gordon Brigham explained that federal housing programs have long-term checks to make sure that the new housing is used for its intended purpose (e.g., providing housing for low and moderate income residents). Many programs also require housing for people at various income levels so that people can stay in the community even if their income increases.*

Neighborhood Goals Raised

- Connections to the Northern Canal area, both physical and economic.
- Increased residential home ownership levels. Need incentives for owner occupied housing in Acre. Trend has been towards more absent landlords.
- Wide spectrum of economic development opportunities. Attraction of business that employ residents.
- Creation and preservation of affordable/mixed income housing with good long-term management
- Preservation of the character of the Acre.

Goals and objectives brainstorming will be continued at next months meeting.

**Revitalization Plan for The Acre Neighborhood
Lowell, MA**

**Advisory Committee Meeting
23 July 1998
Sign In Sheet**

Name	Affiliation	Address	Phone #
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Michael Gray	Wallace Floyd	273 Summer St	617-350-7400
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Kore Carpenter	DPD		970-4276
John Houlton	HOME RESIDENT	20 CONCORD ST	958-3076
Karen Psaledakis	resident	354 Merrimack St.	978-453-5962
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WON Young	Casey family	13 Canton Terrace	(978) 459-4093
Bob Kennedy	L.R.T.A.	145 Thorneike St Lowell	978 459-0164
Mary Rustia	Acre resident	102 Lewis St Lowell	441-0950
Andrea Marlea	acre Neighbors Group	27 Phillips St Lowell	4532702
Thomas Galligani	DPD		978-970-4267
KEITH STAVEL	LOWELL HISTORIC BOARD	60 ARCADE DRIVE	(978) 970-4270
Ray M. Bessera		4143 MARION ST - Lowell, MA-01854	446-0334
THOMAS FITZGERALD	JOAN FABRICS	365 DUTTON ST LOWELL,	934-7301
Matt Higgins	DPD	City of Lowell	(978) 970-4265

The Acre Urban Revitalization and Development Project Citizens Advisory Committee Meeting Notes

August 19, 1998

Introductions / Overview of Process

Anne Barton of the Lowell Division of Planning and Development introduced the consultant team.

Carole Schlessinger introduced the project for those who did not attend the last meeting. She briefly described the process and the current schedule to develop a draft plan by January. There was some discussion of the redefined boundary and whether or not it should be moved in a few places.

The remainder of the meeting was spent discussing issues and opportunities for revitalizing the Acre.

Issues, Opportunities, and Questions

The following comments were made by the CAC members. Responses from the Consultant Team and the City are in italics:

The site on the corner of Lewis, Suffolk, Broadway, and the canal is a key parcel and currently an environmental hazard. It is a prominent location along the proposed canal walk and should not be a used car junk lot.

The housing development plan should include requirements for children's play space. There are not enough places for kids to play in The Acre.

The boundary should include the two churches between Lewis and Adams Streets just north of Broadway. These churches are community focus points and the places where many people enter the neighborhood. They also provide connections to people who have moved away but come back to The Acre to attend church. These churches should be considered a third gateway into the area.

Tom Miller explained that the City can modify the boundary later through the plan amendment process. He also reminded people that there will be positive changes to areas surrounding the revitalization area as things start to improve within the boundaries. The boundary line is necessary at this point to allow the Consultant Team to start surveying buildings and conditions of the area. The boundary also surrounds an area of similar conditions. The boundary must be set to include an area that will qualify as an urban renewal area.

The area between Broadway and Rock Street is a transition area that should be developed with more housing. There should be a buffer between housing and industrial areas to the south.

Broadway has too many small commercial establishments with parking shortages and messy landscaping/streetscape.

The Rock Street corridor is a mess. It is a poor mix of industrial and housing land uses. It is also a major cut through. Rock Street should be planned for either industrial or residential uses, but not both.

The Fireman's Club is another important gateway into the area from the north.

The Acre needs new commercial uses such as a Wal Mart and a branch post office. Many commercial uses could possibly be organized in a way that would make them more accessible. *Tom Miller mentioned the possibility of small business uses with housing upstairs as a way to provide opportunities for people to live, work, and invest in The Acre.*

When the Market Basket was being developed there was a significant number of smaller businesses in the Acre interested in relocating to a better spot. Local merchants have a vested interest in the neighborhood and should be encouraged to stay. New development should not drive them out.

Changes in land use and new development will require infrastructure improvements to control traffic. *TAMS consultants will look at traffic and utility issues as part of this project and a public improvements plan will be developed.*

Preservation of the neighborhood character means preservation of building scale and neighborhood businesses. The Acre has always been a place where new immigrants live for a while and then move away... *Should The Acre remain this way? Should opportunities for transitional housing be provided?*

The Acre needs infill housing on small lots.

Suburban development standards should not been applied to this area. Design guidelines should encourage the "urban neighborhood" character of The Acre.

There are many students living in and passing through the Acre. The University should be on the CAC. Highway signage directs people going to the University the long way around The Acre.

Special attention should be paid to buildings in the historic district during the inventory phase of the study.

Many people in The Acre do not own cars and are dependent on public transportation. The plan should look at potential bus route changes to accommodate people's transportation needs.

The list of project goals developed at the previous CAC meeting was expanded to include the following:

- Open space should be created as part of residential development
- Incompatible land uses should be eliminated and buffers should be provided between different land use. Zoning changes should separate incompatible land uses.
- Opportunities for expansion of existing businesses should be provided
- The historic character of The Acre should be preserved
- Good transit access and adequate parking should be provided as part of the plan

Name	App/ishim	Address	Phone
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The Acre Urban Revitalization and Development Project Citizens Advisory Committee Meeting Notes

16 September 1998

Carole Schlessinger introduced the meeting by giving a brief update on the project status. The Team has been continuing to gather field data, review City information and meet with representatives of various local organizations and people in the housing field to gain a more thorough understanding of the Acre and the local housing market. She explained that the main focus of the meeting was to present an analysis of the area and a very early conceptual land use plan. After discussions with the CAC, that plan will form the basis for more detailed planning.

Aaron Bartels presented the area analysis, using the plans illustrating the following topics:

- **Transportation:** major roads (Fletcher and Broadway), secondary roads and local streets
- **Potential Commercial (Retail) Nodes:** one at Fletcher/Dutton intersection, one at Fletcher/Broadway intersection, and one at Dutton Merrimack intersection. Mixed-use commercial/residential corridors along Broadway and Fletcher would help to connect those nodes.
- **Existing/Potential Greenspace:** increased green space at the Dutton/Fletcher intersection, the Suffolk/Fletcher intersection and the northern side of Rock between School and Mt. Vernon, with a greenway along Rock Street to buffer the industrial area to the south from the residential area to the north. This greenway would connect to the Canal Walk. Smaller, neighborhood playgrounds could be scattered throughout the residential area.
- **Existing Historic and City-Owned Properties:** historic properties scattered throughout the project area, provide opportunities for preservation, but require coordination with NPS and the Lowell Historic Board. City owned properties provide opportunities for changing uses and encouraging desired development without additional acquisitions.
- **Composite Map:** illustrated land uses as described above with a cultural/institutional district along Dutton and Worthen Streets.

Gordon Brigham explained that the Team's preliminary sense of residential areas is that west of Willie, new housing patterns would be similar to those north of Broadway. East of Fletcher the strategy will be to maintain as much of the existing housing as possible, with some infill housing consistent with the existing patterns.

It was explained that the conceptual plan represents a major shift in land use from that indicated by the existing zoning, which is primarily industrial. Amending the zoning will be an important step in realizing the plan.

The following comments were made by members of the committee. Responses from the consultant team are shown in italics.

- Is changing the zoning the only implementation step envisioned? *Changing the zoning is just one piece of the puzzle. Changing zoning will help to guide future development, but will part of a set of steps which might also include some acquisition, developer incentives, relocation incentives for non-conforming uses, and public improvements. Just changing zoning will not affect existing non-conforming uses. The consultant team needs to look at those uses, such as industrial uses in the new residential areas, and determine which are important local businesses and employers and should be encouraged to stay, which could be encouraged to relocate to other industrial parcels within the project area, and which could be encouraged to relocate to other industrial parcels within the city.*
- Peter Aucella asked whether acquisition of a property automatically means demolition. *No - properties could be acquired and rehabbed by another developer (either private or non-profit). This may be desirable for properties which are owned by absentee landlords with a poor maintenance record.*
- Jim Milinazzo supports the idea of developing additional housing in concentrated areas.
- The incubator building at the corner of Rock and Willie is CBA-owned and provides a lot of employment for people in the area. *That building is a good example of a non-conforming use which it would be desirable to retain. The consultant team needs that kind of input from the CAC and others who might have similar information.*
- How will the plan deal with Wamesit Court? *It is not clear at this time. Options include maintaining it as a non-conforming use in the industrial district (its current status), moving the buildings (they were moved to their current location around 1850) or zoning the land around them for residential use. There may be other options as well.*
- Frank Carvalho suggested that there should be more green space near downtown. *The greenway could be extended down Dummer Street to connect to the plaza in front of City Hall and potential green space around the Macheras site on Broadway.*
- Has the difference in tax revenues between residential and industrial use been looked at? *That is a necessary next step. It may be that because so much of the existing industrial property is underutilized, the tax revenues may be higher from concentrated residential development, despite the higher rate for industrial land.*
- Dave Turcotte suggested that the land behind the city barns on Adams Street should be developed for residential use to address the concern of some residents that commercial development is encroaching onto residential land. *There may be ways to develop mixed uses on the site, but all of the remainder of the parcel may be necessary to accommodate parking requirements for commercial uses in the City Barns. Residential development on other parcels could compensate for lost*

residential buildings. If the remainder of the site is used for parking, there will need to be landscaping requirements to buffer the view of the parking from residences across the street. The consultant team will look for examples of well-designed mixed-use developments and different residential developments to illustrate the types of development being considered, and the urban design principles which could be enforced through design guidelines and design review.

The committee agreed that the plans were generally consistent with the community's goals for the area and that the consultant team should continue to further develop the concept shown at this meeting. The next meeting of the CAC will be on October 21.

The Acre Urban Revitalization and Development Project

Citizens Advisory Committee Meeting Notes

October 21, 1998

Data Collection and Preliminary Analysis

Carole Schlessinger presented some preliminary work the study team has been doing using the City Assessor's records. The team has started to look at patterns of owner occupied property, and multiple parcels owned by a single owner. Carole also presented a map of properties that are protected by historic preservation regulations.

Process of Determining Area Eligibility

Tom Miller explained the process of determining area eligibility. He said he will begin surveying building exteriors over the next few weeks. Tom went through the conditions that need to be met in order for the area to qualify. Only one of the conditions listed below need to be met to qualify the area.

A "decadent area" is defined as "an area which is detrimental to safety, health, morals, welfare or sound growth of a community because of the existence of buildings which are out of repair, physically deteriorated, unfit for human habitation, or obsolete, or in need of major maintenance or repair, or because much of the real estate in recent years has been sold or taken for nonpayment of taxes or upon foreclosure of mortgages, or because buildings have been torn down and not replaced and under existing conditions it is improbable that the buildings will be replaced, or because of a substantial change in business or economic conditions, or because of inadequate light, air, or open space, or because of excessive land coverage or because diversity of ownership, irregular lot sizes or obsolete street patterns make it improbable that the area will be redeveloped by the ordinary operations of private enterprise, or by reason of any combination of the foregoing conditions". - From Massachusetts General Law, Chapter 121B

Tom presented some preliminary maps that will be completed to demonstrate how the area qualifies for urban renewal.

Traffic Analysis

Brian Isaacson presented the locations for the traffic counts and turning movements that will be undertaken to help understand traffic patterns in the study area. Members of the committee made the following comments regarding traffic in the Acre, responses are noted in italics.

- Rock street is a major short cut through the area.
- People were concerned about traffic beyond the boundary of the Urban Renewal area. If streets in the Acre are improved, more people will use it as a short cut. Fletcher Street is the best route from the area to Route 3 and I-495. *Traffic calming techniques could be used to improve street conditions, while discouraging cut-through traffic.*
- If the land uses change will increase traffic. If the Barns site is developed for retail use it could significantly increase traffic. *Once proposed land use changes are determined a trip generation analysis can be conducted to look at capacity issues. David Black said he did not think there will be capacity problems; he thinks the primary need will be better definition of street edge, parking lanes, and pedestrian areas.*

- There is currently congestion at Fletcher and Pawtucket Streets because of the limited river crossings. The area around School and Pawtucket Streets is hard to cross as a pedestrian. School Street is very busy because people get off the Connector and go down School Street.
- *Tom Miller asked the committee to think about whether or not the plan should encourage University traffic to use streets in the study area.*

Housing Strategy

Gordon Brigham presented preliminary work on the housing strategy. He reminded the committee that there is no direct correlation between the deficient building survey that Tom Miller talked about and the best housing strategy. Gordon presented a map showing parcels that have owner occupied residential buildings and those that do not. His preliminary ideas about the strategy focused on:

1. Maintaining owner occupied properties (except in those cases where the building condition is too bad or the parcel is a key portion of a larger parcel needed to a specific project)
2. Encouraging absentee owners to improve their property through programs for continued ownership (and acquire those properties owned by persons who do not want to maintain them)
3. Developing new infill mixed income housing.

The plan will propose strategic public actions that will encourage private action and serve as a catalyst to develop a new tone for the area.

Potential actions include: mixed used development (commercial and residential) on the Barns site; and residential development along the center section of Fletcher street (possibly residential above commercial). Gordon reminded the committee that there is no money in urban renewal for housing construction so there will have to be some additional programs developed as part of the master plan to get housing built. Mixed income housing will be the principle used throughout the area.

Members of the committee made the following comments regarding housing.

- Frank Carvallo said the CBA could build as many single-family houses as the City could find sites for.
- There was concern about real estate speculators that are buying up property to rent but not maintaining the real estate very well, and whether there is anything that can be done to prevent this. *The most important thing to do is to solidify the neighborhood so that it does not happen. In the short term there may be some opportunity to acquire these properties before someone from outside the community does.*
- Will existing non-conforming uses be penalized? *No, non-conforming uses can remain, even if the property is sold. If a building is vacant for 2 years, then the use must change to be conforming.*

Anne Barton reminded people that there would be building surveys going on for the next few weeks so people may see members of the team walking around housing and buildings.

Next meeting November 17, 1998

Wallace, Floyd, Associates

**Urban Revitalization and Development Project for The Acre Neighborhood
Lowell, MA**

**Advisory Committee Meeting
21 October 1998
Sign In Sheet**

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The Acre Urban Revitalization and Development Project Citizens Advisory Committee Meeting Notes

November 17, 1998

Aaron Bartells updated the committees on public meetings that were held with the CBA. About 50 people turned out over the course of two meetings.

- There is support for new residential development in the Acre.
- Residents are also interested in more public services such as increased policing and trash collection.
- People thought that new residential development along Adams Street behind the City Barns was a good idea.
- People also expressed interest in mid density housing in buildings with 1 to 3 units.
- Frank Carvalho added that people expressed interest in more off street parking and houses with back yards.

Carole Schlessinger gave a brief overview of the Draft Conceptual Plan. In its current state it includes:

- A new middle school on the block bounded by Broadway, School, Mount Vernon, and Rock Streets. The layout shown on the plan was only an exercise to see if a school, playing fields, and sufficient parking could fit on the site. It is not an actual site plan.
- New housing and new roads on the block across Mount Vernon Street from the new school. Details of this area need to be worked out.
- Mixed use (restaurant/retail) infill development around the lower end of Fletcher Street. The new development would be targeted to filling gaps in the street frontage and would serve both local residents and tourist trade from nearby museums. Parking would be relocated behind buildings.
- Reconnecting Worthen Street across the Western Canal, behind the Textile Museum, to Broadway.
- A new parking garage and retail building on the corner of New Worthen Street and Broadway. A garage could hold about 100 cars per floor and would include retail or restaurant space along Broadway. The garage would serve the local businesses, the museums, and the Dutton Yarn building that is planned to be redeveloped as office space. Development on this site would include taking the Macheras property and may include a park at the corner of Broadway, Dummer, and the canal.
- Cardinal O'Connor Parkway would be extended across Market Street with a walkway between the extended parkway and Whistler House on Worthen Street. This would provide a new development site on the corner of the Parkway and Market Street and provide a more significant open space approaching City Hall. The development site would be targeted to mixed-use development with retail space on the ground floor and residential space above.
- The triangle between Broadway, Fletcher, and Willie Streets is an opportunity area for new community-oriented retail development. The small parcel where the Lowell Firefighters Association is located would make a good gateway into the area if was developed into a landscaped area or plaza.
- The vacant parcels along both sides of Adams Street behind the City Barns site is an opportunity area for new housing developed by the City to show their commitment to residential development in the Acre.
- Some residential blocks may also benefit from pedestrian short cuts between streets or open spaces.

The following comments were made by members of the CAC and discussed during the rest of meeting. Responses are indicated in italics.

- People thought that the pathways were a good idea, but they should not be a “no mans land”. They could be difficult to police. They could take up space that would be bettered used as off-street parking.
- *Tom Miller reminded the committee that the plan was not going to solve every little issue, but rather make a few big moves. Many of the smaller things will happen over time as a result of new development guidelines and increased private investment in the neighborhood.*
- There was a comment about the density of infill housing along Suffolk Street
- *The City is considering disposal of properties that they have acquired through foreclosure at the same time that they dispose of other properties acquired through the plan.*
- There was concern that the density of infill development along lower Fletcher Street would create parking problems. *The Consultant Team will look more closely at the parking issue throughout the project area.*
- There was some concern that the school site was too close to the Colonial Gas Company land. Some committee members wanted to know what the Gas Company thought about this plan. *They have not seen it yet, but the City can take the land for a school with or without Urban Renewal.*
- There was both support and concern about the school siting at the edge of Broadway. Bus drop-off should be off street.
- There was a comment that the new development parcel at the corner of the extended Cardinal O'Connor Parkway would be a good site for an institutional use. No specific use was suggested. *The improvements at the Macheras site and the extended parkway will go a long way towards integrating the neighborhood into the downtown area.*
- *The mixed residential and industrial area south of Rock Street will probably be rezoned as residential and over time will slowly change to residential.*
- Someone asked if there would be specific residential properties acquired in order to trigger new development and rehabs along certain streets. *In two weeks the Consultants will come back with an acquisition plan that shows which sites are proposed for acquisition. Also the properties that the City has foreclosed on will go a long way in getting this started.*
- How do we stimulate new business, specifically restaurants? Is there some kind of low rent program that could help get new businesses started? *The most important thing is to stabilize the neighborhood through key public actions. Also the Tax Increment Financing (TIF) program, and the institutional first time home buyers program will help to stabilize the area and bring in more residential development to support new commercial development.*
- There was concern about the implementation process, beyond the initial Urban Renewal Actions. People think the process will be too dependent on current politics. Is there a way to depoliticize the implementation? *The State oversight provides a check on everything the City is doing. There also may be a way to set up a standing committee to make sure implementation is consistent with the plan.*

Key Issues Summary by Committee

Overall the entire plan addresses all the important issues. The most pressing concerns are:

- Long term implementation
- Parking
- Sustainability

Next Meeting December 2, 1999 at 6:00pm

The Acre Urban Revitalization and Development Project Citizens Advisory Committee Meeting Notes

December 2, 1998

Carole Schlessinger reviewed the illustrative plan changes since the meeting on November 17, 1998. See notes from previous meeting for details. These revisions include:

- More detailed parking locations for commercial buildings and some residential buildings
- New residential structures on Adams Street behind the City Barns and on Broadway east of the Barns.
- Connecting Cushing Street through to Rock Street with new mixed-use development at Corner of Fletcher and Rock.
- New residential development along Rock Street, close to Willie St.
- Other scattered infill residential development.
- The Cardinal O'Connell Parkway extension now includes an open space at the south end that could be used as a park or for expansion of the Hellenic Center School or Whistler Museum.
- Along Suffolk Street there will be some acquisitions; some of these acquisitions will be for rehabilitation.

The following questions and issues were raised. Responses are in italics

- How many units are in the new mixed use building on the corner of the Cardinal O'Connell Parkway and Market Street? *The details about the units of housing are still being worked out for all new residential development shown.*
- What is the size of the parking garage on Broadway and New Worthen Street? *There are about 100 spaces per floor above the first. Part of the first floor would be an extension of the adjacent ground floor retail along Broadway. The total space needed in the garage is dependent on the reuse of the Dutton Yarn building.*
- What is the reasoning for the new housing along Rock Street? How many local jobs will it displace? *The reason for replacing these buildings is to solidify the street as a residential street. We are not sure how many jobs will be displaced yet, we will look into this. We are hoping to develop a business retention plan in addition to the relocation plan, which will provide incentive for business to stay in Lowell. We will also make recommendations for improved transit routes so that Acre residents have access to job that are relocated.*

Carole presented the Draft Acquisition and Disposition Plans. Working backwards from the illustrative plan these plans show what properties would need to be taken and how parcels will be assembled for disposition. Some acquisitions will be made with the intent to rehab the buildings while others will be demolished. At our next meeting we will present a plan that shows demolition versus potential rehabs. In total the current acquisition plan includes about 10 percent of the total study area. The following is a summary of key issues discussed during the remainder of the meeting.

- Why is the paint store on the corner of Market and Worthen Street being acquired? *It is in poor condition and we would like to see it rehabbed. Putting it on the acquisition plan will hopefully encourage the current owner to rehab it or allow it to be acquired and sold to someone who will fix it up. It is easier to drop a parcel from the acquisition list than to amend the plan and add parcels later. The plan should outline the process for doing the takings.*

- Tom Miller asked the committee if we should we provide a way to give current owners an opportunity to rehabilitate their property prior to acquisition by the City (if it is a property designated for rehabilitation rather than demolition). Some people thought this would be a good idea in many cases.
- Once the plan is approved the City can do takings before money is actually available from the state and get paid retroactively.
- The City Barns RFP will be organized like a menu where respondents can submit proposals for both the commercial and residential buildings or for one or the other. One evaluation criterion will involve the inclusion of provisions for locating local businesses in the new development. An environmental assessment and appraisal are currently underway for the site.
- There was some concern about relocating businesses that get displaced by the new school and other takings. The CBA helped many of the business in the area get started. Tom explained the basic relocation procedures and said that we hope to include provisions that go beyond what is required under urban renewal. He said in Worcester they managed to retain 90 percent of displaced business within the City. The planning department will also have to qualify with the state to be a relocation agent. The idea of a business retention program was discussed again. The urban renewal plan can include money in the budget to provide staff to help with relocating displaced businesses.
- Should there be an area within the Acre that is designated for relocating light industrial uses? The committee discussed this a few months ago and decided to rezone the entire area down to Dutton Street for residential uses so that the area will change over time. There was a discussion about reconsidering this decision to provide an area for startup businesses and relocation of small businesses.
- Peter Arcella of the NPS is interested in seeing the implementation strategy. He also talked about work he was involved with in Malden where they assigned neighborhood redevelopment officers and code inspectors. He wanted to know what the staffing commitments would be to implement the plan. The elements of the implementation plan will be discussed at the next CAC meeting.
- Frank Carvalho said that the CBA is interested in developing many of the properties. Tom pointed out that although the CBA is a major asset to the area, it is important that other developers get involved and do projects as well.

Next Meeting December 16 at 6:00

Other Meetings:

City Council on December 8th

Local Business Owners on December 9th

**Urban Revitalization and Development Project for The Acre Neighborhood
Lowell, MA**

**Advisory Committee Meeting
2 December 1998
Sign In Sheet**

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John Matthews		252 High Rd Newbury MA 01951	978-465-0209
ANNE BARTON	DPD		970-4258
FRANK CARVALHO	CBA		970 2034
FRANK GOWELL	LAB		970-4270
PETER AUCELLA	LNHP	67 Kirk St.	275-1722
Brian Isaacson	TAMS	38 Chauncy Boston Ma	617-596-8850 x392
Tom Mallegani	DPD	Econ. Devel.	970-4267
Juan P. Avendano		City of Lowell	970-4252
Patty Gullette		Colonial Gas Market St	322 3301
TOM FITZGERALD	JOAN FABRICS	283 SIXTH AVE	453-8955
Tom MILLER	MILLER GROUP INC		978-779-8203

The Acre Urban Revitalization and Development Project Citizens Advisory Committee Meeting Notes

December 16, 1998

Carole Schlessinger began the meeting with a review of public meetings held since the last CAC meeting. These included meetings with the legislative committee from Lowell, the City Council, area business owners, and the Planning Board. Overall, the meetings went well. The City and the consultant team decided to let the schedule slip about a month in order to have some additional public meetings. The draft plan is now scheduled for early February. We are currently in the process of developing a detailed schedule for the remainder of the project

Discussion of the plan to date followed. Responses by the consultant team are in italics.

Frank Carvalho expressed his concern about the 150 jobs that will be displaced as a result of the new school. He said that the CBA can not support the plan with the school in its current location without a more careful look at the economic impacts, the cost to rehab existing buildings, etc. The CBA is concerned about finding new locations for the businesses with comparable rent and about small markets and other retail businesses that will be impacted as a result of the change. *Tom Miller explained that the first step after the plan is approved is to start looking at relocation options and develop a strategy to retain the businesses in Lowell.*

Councilor Rita Mercier expressed her concern about the plan. She was particularly concerned about the acquisition of properties between Broadway, Fletcher, Willie, and Cross Streets. She felt that the council was being deceived because the plan the City distributed to the Council did not show those parcels as acquisition parcels. She said she is not willing to improve the Acre at the expense of struggling businesses. *It was explained that the plan shown at the Council meeting included the properties in question. Unfortunately, the plan sent out in advance of the meeting was an earlier version.*

Frank Carvalho asked for more information on why a school is better for economic development than businesses that employ 150 people. He also thought there may be some compatibility issues with the surrounding Colonial Gas Company land. *Carole mentioned that the Gas Company was just sold again and therefore the future plans for their property was uncertain. A meeting will be set up with Colonial Gas.* Frank also said he thought the school is too close to the other middle school.

Bob DeMoura from the Lowell Police Department stated that crime in and around the North Common had significantly dropped since the school was built there.

Lisa Patenaude and Andrea Mailea said they support the new school on the proposed site. They also said they would be in favor of any plans that improve the aesthetics of businesses that stay in the area.

John Crane talked about the successes the Fletcher Street Corridor Committee had with some of their activities in improving the area and said that the plan included elements that would further improve the area.

Frank Carvalho asked for examples of programs that have been used in other areas to retain displaced businesses. *Tom said the City will have to commit to a business retention program. They will then set up a task force to develop an inventory of properties that could be used as relocation sites for displaced businesses. Tom will bring in examples from Worcester for the next CAC meeting. The plan can*

discuss potential areas for relocation, but will not include a parcel by parcel relocation plan. A parcel by parcel plan at this point would be premature.

David Turcotte pointed out that it was CBA's improvement to properties on upper Fletcher Street that led to Mr. Demoulas' decision to locate a new store on upper Fletcher Street.

Peter Aucella said he did not think that the commercial building at the corner of Fletcher and Broadway needs to be taken. It has some character and should not necessarily be removed. He asked if this acquisition could be moved to a later phase of the overall plan. *Carole said the reason it was included at this time is because it provides the City with site control.* Other people expressed concern over taking the properties on the block because it would displace a second hand shop that is a needed use in the area. It would also displace George's Restaurant, which has been at that location for 45 years. *Tom pointed out that the alley in the middle of the block makes parcels hard to assemble.* It was mentioned that the second hand shop is currently for sale.

Tom Miller asked how important it is to keep jobs in the Acre as opposed to keeping them within the City. How many Acre residents work at these businesses? He will meet with all of the business owners to determine the number of employees and potential relocation requirements.

John Harden asked if the plan is too aggressive. Is it trying to do too much at once? *Tom explained that the plan acquisitions account for less than 15 percent of total land area. If you subtract the land for the school (which could be taken without urban renewal) it is less than 10 percent. Also, all the takings may not happen immediately.*

Someone asked about reimbursement for the school and how that would be effected by urban renewal. *Tom explained that without urban renewal, the City would have to pay for all the land acquisition costs. If it is done under this plan the State will pay for half of the acquisition costs.*

The point was made that by changing the zoning south of Rock Street to residential the plan would not impact existing viable businesses. Existing businesses would be allowed to remain as non-conforming uses.

John Harden asked about where the parking for the new building on the site of the Golden Swan Restaurant would be. *Carole pointed out the new city owned parking lot behind McKittricks' Hardware.*

Peter Aucella and Steve Stowell suggested keeping all the housing along Broadway and providing parking in the center of the block. The street wall of historic buildings along Broadway is more important than parking in that area. *Carole said the consultants would look for alternatives to accommodate parking in that area.* Peter also said the National Park Service would be very interested in taking responsibility for design review for parcels associated with the plan.

Carole briefly reviewed the elements of the implementation plan (see attached sheet for details). She said that the committee would see a draft of the implementation plan before the draft of the report.

Next meeting January 20, 1999

A public meeting schedule will be developed over the next couple of weeks.

The Acre Urban Revitalization and Development Project Citizens Advisory Committee Meeting Notes

January 20, 1999

Carole Schlessinger reviewed proposed changes to the plan. They include:

- Changing the density of the new housing across Willie Street from the school. It will be a combination of one, two, and three family houses.
- Adding a new pocket park that the community requested along Broadway across from the school.
- Adding a new six unit building at the corner of Fletcher and Brooks.
- Adding a new multi family building at the corner of Rock and the extended Cushing Street
- Establishing the division between the residential and industrial zones at the back of properties facing Cushing versus along Cushing Street. If drawn at the back of properties it will create a more coherent street, more space for relocating displaced light industrial uses, and increase opportunities for buffering adjoining residential uses. This decision has not been finalized.
- Parking in the interior of two residential blocks.
- Expanded park space at the corner of Fletcher Dutton and the Pawtucket Canal.

The team has also started to discuss zoning changes and design guidelines internally. We will present ideas at our next meeting.

Peter Aucella asked if the consultants could revisit the idea of taking some historic buildings that are not in the hands of people who are planning on rehabbing them. He asked if they could be added to the acquisition list as a strategy for negotiation. *Tom Miller said that adding parcels to the acquisition list for this purpose was not a good idea because if we don't take them then we could depress the area. He said the way to do this is through plan amendments if redevelopment does not occur in a couple of years.*

John Harden asked if there were measures that could be taken to prevent undesirable development between now and the time the plan is approved. *Tom said the only thing that could be done would be to make an interim zoning overlay, but he did not think it is necessary at this point. In the meantime, the zoning board and the ZBA are aware of the plan so that it does factor into their deliberations.*

Carole announced the public meeting on January 27 and it was agreed that the announcement for the meeting would be from the City and the CAC. The announcement would not imply that the CAC had endorsed the plan.

Carole told the committee about the meeting that she and Colin had with the Gas Company. She said the company was very supportive of the plan for the school. They believe they can move their lay down area of their property across School Street. They have also done a fair amount of environmental clean up on the site.

Brian Isaacson reviewed the results of the parking and traffic analysis that they have been conducting over the last few weeks. In summary:

- Only about 50 percent of on street parking is used at night.
- Most streets would benefit from a full depth reconstruction with new curbs and sidewalks. This would help organize on street parking on many side streets.
- Adams Street is too narrow for parking on both sides and two-way traffic.
- There are a few troubled areas along commercial streets such as at the corner of Broadway and Fletcher and at the corner of School and Broadway where on-street parking restrictions may be required.

Frank Carvalho said that Worthen Street is also a little narrow for 2-way traffic and parking on both sides.

Tom Miller asked the committee what they thought of reopening Western Ave for industrial traffic. There were no objections. The consultants will look into this possibility.

Aaron Bartels reviewed the housing inventory they he has been working on. There are currently 430 housing units in the area and there is capacity to add or rehab about 200 units. The team is currently looking for sources of funding to help get housing built and rehabbed. These will include historic tax credits, CDBG money, and other sources. He is currently working on developing a total cost for the redevelopment. Tom Miller pointed out that urban renewal can help with acquisition costs but these other efforts such as finding sources of funds are part of a comprehensive approach that goes beyond the requirements of urban renewal.

There was concern that new housing would be filled up with low-income residents. *Aaron and Tom explained that the objective is to increase home ownership and rental properties that are well managed. Multi-family houses such as two and three family buildings provide an opportunity for people to own and live in one unit while offsetting costs with income from the other units. There is nothing that can be done to stop a building owner from renting to Section 8 residents, but if the owner lives in one unit they will want to make sure they have good tenants in the rental units.*

Rita Mercier was concerned that a 6 unit three story building on the corner of Brooks and Fletcher is too big and there would be no space for parking.

Frank Carvalho pointed out that the area needs affordable housing that is well managed. Jim Millinazzo said that the City needs housing for people with incomes that are 0 to 30 percent of median. Councilor Grady Mulligan said the we can not say we will accommodate low income families and then not build any rental housing.

There was concern about the size of the building on Adams Street. Some members thought that 2 7-unit buildings would be too big. Councilor Grady Mulligan pointed out that the Golenbock properties that were removed from the 2 sites on Adams Street had a total of 20 or 30 units in them. Two 7-unit buildings would be a significant decrease in density. Frank Carvalho thinks that the properties along Adams Street should be redeveloped with 2 family buildings.

The committee decided not to acquire the two building on the southwest corner of LaGrange and Adams.

Carole mentioned the idea of trying to get the transit authority(LRTA) to improve transit access to the area. The committee was supportive. Brian also mentioned a demand responsive system that the authority is planning.

There was a brief discussion of the business relocation process and benefits. Carole passed out brochures that were developed for urban renewal in Chelsea. John Harden asked if there would be a parcel by parcel analysis and attempt to match business with potential relocation sites. *Ann Barton said that the city has to begin developing an inventory of available land. There will not be a parcel by parcel analysis, however.*

Next meeting in two weeks. February 3 at 6:00

Public meeting January 27 at the Mayors Reception Room at City Hall at 6:00.

**Urban Revitalization and Development Project for The Acre Neighborhood
Lowell, MA**

**Advisory Committee Meeting
20 January 1999
Sign In Sheet**

Name	Affiliation	Address	Phone #
John Belange	ACRE RESIDENT	23 School St.	453-6772
Mike Maulea	Acre Neighbors Group	Phillips St	453-2702
TOM JOYCE	The Joyce Company	251 MT Vernon	937-8006
THOMAS FITZGERALD	JOAN FABRICS	283 SIXTH AVE	453-8955
ANNE BARTON	DPD		970-4258
Frank Anallia	CBA		970-2034
Jim MILINARO	LHA		937-3500
John O'Neil		276 PROVER ST	728-8768
Jim Hanlon		20 LOMBARD ST.	458-3076
Peter Buccella	LNHP	67 Kirk St.	275-1722
Dad Smith	CBA		934-4677
Chris Biggs	LNHP	67 Kirk St	275-1725
Mike Coz	WFA	273 SUMNER ST	350-7900
Aaron Bartels	SEB	10 Concord Cambridge	876-5900
JAMES SULLIVAN	TAMS	38 CHURCH ST	556-8850
BRIAN ISAACSON	TAMS	"	556-8850 - ext 392
Tom Miller	MILLER GROUP INC		978-779-8203
JUAN P. AVENDANO	DPD		970-4252
Matt Higgins	DPD		970-4265
Tom GALLIGANI	DPD		970-4267
Rita Mercier	City Council		453-2467
James R. Kelly	City Council		453-0836
Robert A DeMara	Lowell Police		9373200
Carol Schlessinger	Wallace Floyd		617-350-7400
Armand Mercier			

The Acre Urban Revitalization and Development Project
Citizens Advisory Committee Meeting Notes

February 3, 1999

Carole Schlessinger reviewed the following proposed changes to the plan:

- *Addition of a pedestrian bridge across the Western Canal, along the block facing Suffolk Street.*
- *Acquisition of the building at the northeast corner of Worthen and Fletcher Streets for rehabilitation as ground floor commercial space and upper floor residential use.* The building is one of the first seen by drivers entering The Acre and is currently vacant except for a Police Precinct office in the first floor.
- *Acquisition of the laundromat near the corner of Marion and Broadway.* There was some concern voiced about relocating this business to the City Barns site because that had also been discussed as a relocation site for the laundromat being acquired on the school site. The committee discussed that laundromats need to be located where parking is available, and therefore the building on the northeast corner of Broadway and School Street might not be appropriate for a laundromat.
- *Establishing the division between the residential and industrial zones along the interior of the block between Cushing and Rock Streets.* New industrial uses along the north side of Cushing Street would be required to provide a fence and landscape buffer on the rear of the parcels to screen them from abutting residences along Rock Street. Some of the residences along Cushing Street would be acquired to provide industrial sites and encourage redevelopment of that block. The dislocated homeowners could be given priority for new sites within the urban renewal area. The new industrial parcels could provide relocation space for some of the displaced businesses. There was discussion that the rents for these new buildings would probably be too high for many of the existing businesses and that the small sites could attract primarily auto-related uses. There was interest in keeping the zoning line along Cushing Street and trying to provide a buffer on the south side of the street (along the backside of the Dutton Street industrial uses).

John Crane mentioned that Girls Inc. is very concerned about having pick-up and drop-off space along Worthen Street and they are not in favor of additional residential development in that area. Carole explained that the residential building was placed there because it provides an attractive street edge along Dummer Street, and, because of its proximity to downtown, it provides an ideal site for an urban, multi-family building. The Whistler House is also concerned about access and parking along Worthen Street. The consultants will look at some alternative layouts.

Carole showed a site plan illustrating using the Dutton Yarn Building and the Macheras property for the new middle school. The site does not accommodate sufficient outdoor space and does not provide good vehicular access and circulation. It also is less accessible to the community and will have less of a positive impact on the residential property in the project area. Using this site for the school precludes development of a parking garage which is important to the reuse and/or continued vitality of the surrounding properties. Therefore, the consultants do not recommend using this site for a school.

Carole presented the proposed zoning map which included a mixed commercial/residential zone along Broadway, at the northern and southern ends of Fletcher, and on the eastern portion of the site along Dutton, Worthen and Dummer Streets. South of Cushing and the Colonial Gas properties will continue to be zoned for industrial use and the rest of the area will be in a new urban multi-family residential zone. A more detailed table of uses and dimensional requirements will be prepared.

Carole presented tables showing the breakdown of land uses by type; percentage of land being acquired, currently city owned and available for private development or ownership; and changes in the number of housing units by building type (one, two, three and multi-family buildings). There will be a total of 110 additional units, with home-ownership opportunities in each unit type. It was explained that the proposed densities and unit mixes could be controlled through specific requirements in land disposition agreements.

Brian Isaacson presented a plan illustrating locations of traffic improvements and on-street parking locations. Improvements, which in many cases will include prohibiting parking near the intersection, were shown at the intersections of Fletcher/Rock, Fletcher/Broadway, Broadway/School and School/Rock. He also recommended making the block of Marion Street between Broadway and LaGrange one-way with on-street parking allowed on one side. Because of the narrow width of Rock Street between Fletcher and Willie, it will be difficult to accommodate on-street parking with two-way traffic. The consultants will look at widening the road on the northern side where new housing is proposed. There was a discussion about trying to reduce the traffic on Rock Street as it becomes a more residential street. Brian also showed a plan of where enhanced pedestrian crossings were proposed. It was suggested that an additional crosswalk where Broadway crosses the canal would be desirable.

Carole presented the implementation pieces regarding a storefront implementation office, a full-time project manager, technical/administrative support from the city, resource commitment, business retention, first refusal opportunities for property owners and an ongoing review committee. Stephen Stowell outlined a plan for a neighborhood historic district which would allow the Historic Board to provide design review for the entire project area. Gordon Brigham outlined the housing implementation program and its relationship to the overall implementation program.

David Turcotte questioned the role of the CBA in the implementation process and it was discussed that the CBA would be a likely developer for a number of the residential development parcels but that any formal designation would not be part of the plan, but rather the result of later discussions.

John Harden asked about the need for acquiring the businesses in the block between Fletcher and Willie, south of Broadway. It was agreed that the consultants would look at the possibility of acquiring the residential buildings but leaving the commercial buildings.

The next meeting will be on February 17.

**Urban Revitalization and Development Project for The Acre Neighborhood
Lowell, MA**

**Advisory Committee Meeting
3 February 1999
Sign In Sheet**

Name	Affiliation	Address	Phone #
Lisa Petercude		68 Chase St	453-7464
Mike Petercude			
Tom Nalligani	DPD - Econ. Development		970-4267
John P. ...		20 Lombard St.	458-3076
Frank ...		450 Merrimack St	970-2034
ANNE BARTON		CITY OF LOWELL	970-4258
Chris Biggs	LHHP		275-1725
John ...		Quinnipiac F.H.	458-8768
John Matthews		252 High Rd Newbury	465-0209
Matt Higgins		City of Lowell	970-4265
GERARD ...		LOWELL HISTORIC ...	970-4270
Col. McNiece	DPD		970-4261
Juan P. Avendano	DPD		970-4252
BRAN ISAACSON	TAMS		617-556-8850
Tom Miller	MGE		978-779-8203
GORDON BRIGHAM		Stockard + Engler + Brigham	617-876-5900
Carol Schlessinger		Wallace Floyd	617-350-7400

Jan. 27, 1999 Public Meeting
Please Sign-In

Name	Address	Phone	
Mark E. Goldman	58 Oakland St. Lowell	452-3892	
Proto Etch Technology	71 Willie St	805-5000	
Merrimack Furniture	774 Dutton St	454-0025	
FRANK CARVALHO	450 Merrimack St	970-203	
Christopher Scott	Lowell Sq	970-4648	
R. Guaglia	Lowell	453-9829	
Patricia M. Graham	6m VCVB Shattuck/Lowell	459-6150	
Anastasia Porter	} Whittier House Museum	} Worthen St	
Theresa O'Leary			"
Veronika Demers			"
Jean Harmon			"
Robert Caher	Lynch Point 452 Broadway St	452-0041	
Shawn Joyce	The Joyce Company 251 Mt Vernon St	937-8006	
Tom Joyce	251 MT VERNON ST	937 8006	
Flavia Cigliano	Whittier House Museum	452-7641	
Chheang Tell	590 Broadway St	458-5768	
Andr R Mauler	27 Phillips St	453-2702 Ace Neighbors	
John Belanger	23 School St in Gatekeeper's House	453-6772	
Tassia Tsouras	62 Willie St.	458-0775	
STEVE PAPANOTAS		957-2981	
Peter Prak	600 Broadway St	459-9298	
Will Soucy	250 Mt Vernon St	452-4221	
John Craye	274 Parker St.	458-8768	
Marie Sweeney	Home Historical Society / Community Teamwork, Inc	851-3867	
DON DREW	21 MAPLE RD WESTFORD	24 MARION	
Edward Confield	City Council		

HERB KAZER - 528 BROADWAY ST - 978 474103
MEHMED ALI 30 HOWARD ST GL-24349
Henry Hefco Kucharzyc 23 Arlington St 454-9993
Kurtis Beaulieu 375 Broadway - 4530171
Elkin Montoya 1521 Varum Ave Lowell 453-1277
Steve Panagiotakos 191 Sanders Ave Lowell 452-0440
JOSE J INFANTE 198 BROADWAY ST - Lowell 459-029
TYLER C JONES JR 186 Suffolk St Lowell 454-3489
Denise Papanastasiou 214 Broadway St 4523366
PETER M BAKER 236A BEACON ST 970-0142
Normand P. Marquis Lowell
Normand Marion Soucy 250 W Vernon St Lowell
Richard Beaulieu 375 BROADWAY ST Lowell
En Kim Oh, 590 Broadway St Lowell
Paul Niven 55 Rock St Lowell
Linda King DPD
Dana McElroy
Matt Higgins DPI
Carol Tucker EPA/DPD
Michael Lawrence
Roger J. Boulanger 126 Cross St. Lowell
John Hamlin 20 LOUNSBARD ST. LOWELL MA
Goran Sagundorf 77 East Merrimack St. Lowell MA.
CINDY TAYLOR MERTONS ^{REST} 590 Broadway St, Lowell MA 01854 (441-635-
Bill Tausler 126 Belmont Av 937-5000
Cory Kasper 305 W Merrimack
Tracy Green 20 Woodland Park, Lowell
Hank Gandy 331 BROADWAY Lowell
Frank Beaulieu

M

~~Lowell~~ Okhan 211 Fletcher st Lowell

Andy Chandenneth	ywca	454-5405
Christine Cole	Lowell Police Dept	937-3224
JUAN P. AVENDANO	DPD	937-3 970-4252
Colin McNiece	DPD	970-4261
Tom Sullivan	DPD	970-4267
Madeline Brits		454-9570
Marcos Brits	P.R.F	454-9570
Tom Miller	MILLER GROUP INC.	978-779-8203
Aaron Bartels	SEB	

The Acre Urban Revitalization and Development Project Citizens Advisory Committee Meeting Notes

17 February 1999

Carole Schlessinger reviewed recent changes to the plan. They include:

- Two new industrial sites were added to Cushing Street. The zoning boundary has been set in the middle of the block between Cushing and Rock. Industrial uses area south of this boundary and residential uses are to the north.
- The three commercial properties on the triangle block north of Broadway as designated for rehabilitation. The residential buildings will be acquired for demolition and replacement with a commercial building and a small parking lot.
- Some changes will be made to avoid demolition of any significant historic structures.
- A pedestrian bridge across the Western Canal has been added.

Peter Aucella was concerned that the plan is not consistent about which buildings are being taken for rehab and which are being left for private action. *Anne Barton explained that in the triangle block we are planning on taking all the properties in order to gain site control.* Peter thought that other incentives and design controls could be used to make changes happen without taking every property that we want rehabbed. It was agreed that the commercial buildings would not be acquired.

Tom Fitzgerald asked why a bridge was connecting to an industrial area site. He was also concerned that the people developing the Dutton Yarn site have not seen our plans. *Carole explained that the bridge would provide access across a long stretch of the canal and connect to a new office, a restaurant, and public parking garage. She also said that the redevelopment consultant for the site has seen the plan, but not for a while. Matt Coggins was going to show them a quick analysis that we did on the change in parking area. We have also been planning on accommodating much required parking for the Dutton Yarn development in the new garage.*

John Harden asked about the site of the Funeral home on the corner of Broadway and Wille. He wanted to know if there was anything that could be done to make the owner fix up the site without taking the property. *Carole said that it was rumored that he was interested in redeveloping that site. Anne also said that his parking lot is in violation of the zoning code, and that the City should be able to get him to add some landscaping to the edge of the site.* John also wanted to know why nothing is proposed for the Muldoons site.

There was some concern that the new parking lot on the triangle block would not be public and would not provide parking for existing businesses. *Carole and Anne explained that the garage and the lot behind McKittricks Hardware would be new public lots. The other smaller lots are intended to serve the adjacent new housing. The properties on the triangle block could be disposed with a caveat that requires the new development to share parking with existing businesses.*

There was also some discussion of sign code violations at the liquor store. Peter is concerned about what happens between now and the adoption of the plan. There was a discussion of adopting the design review process and guidelines at the time the plan is approved by the City Council so that design review could begin immediately.

Brian Isaacson presented a draft plan of street configurations and on-street parking. The following are highlights:

- Brooks and Franklin become one way in opposite directions to accommodate one on-street parking lane.
- Signage on the lower end of Adams Street should be clarified.
- TAMS is going to look at which moves should be stopped at Dummer, Cardinal O'Connell Parkway and Market Street.

Brian also mentioned a couple of new LRTA bus routes that pass through the area. Some additional or modified routes may be recommended.

Gordon Brigham outlined the housing analysis and strategy. See attached tables for details. Highlights are listed below:

- There are currently 176 residential buildings within the study area. This translates to approximately 581 units (based on assessor's records).
- The urban renewal program will propose about 142 new units of housing on vacant lots or lots that are currently industrial or commercial sites. In addition the renewal plan will propose the rehab of 105 units. About 31 units will be removed and not directly replaced.
- In addition to properties directly affected by the urban renewal plan there is the potential for an additional 476 units to be rehabbed.
- The goal of the housing program will be to reserve 50 percent of new or rehabbed housing for families with incomes 60 percent below median income.
- The model proforma for a single-family house shows a difference between the cost of new construction the appraised value of a new house is about \$40,000 dollars. This amount will have to be made up with public funds and tax credit programs. The resulting \$80750 mortgage would be affordable for a family with an income of \$30,000. A two family house, because of the rental income, would be affordable to a lower income family.
- There may be some opportunities to use urban renewal money for construction of new housing if the housing authority builds it.

Frank Carvalho had some questions about the income numbers and where they came from. *Gordon explained that they were projections based on the 1990 Census.*

John Harden asked about restrictions that can be put on developers of affordable housing. *Gordon explained that many of the funding programs have strict requirements governing the time period that projects must remain affordable and the mix of incomes they must serve.* John also asked if the restrictions make these projects hard to market. Frank explained that the problem in the past has been with the image of the area not with deed restrictions.

Carole and Anne reported that Tom and people from the City have talked to all the business owners on the school site. People have been very cordial and not very apprehensive. They do have questions about how much money they can get for their property and for moving. Some people have started to see this as an opportunity for retirement or to get a fresh start in a better location. Some of the retail businesses are concerned about potential relocation sites.

John and Frank expressed concern about the 3 retail businesses at the corner of School and Broadway. They said there is no hard data on potential sites for relocation; demographics of other sites within the City; and opportunities to own a building somewhere else. They are concerned that people are not being given information until the last minute. *Carole and Anne said that Tom has talked to these businesses and is available to answer additional questions.* There was a discussion about

designing the school to avoid these buildings, and a discussion of encouraging developers to develop commercial condos to provide relocated business opportunities to own their new properties.

Anne reported that the City Council has voted to officially surplus the Barns site. The appraisal, including residential properties on Adams Street came in at \$345,600. The RFP will go out in the next week or so.

At the next meeting we will be presenting a draft for review by the committee and the City.

Next meeting March 17, 1999

**Urban Revitalization and Development Project for The Acre Neighborhood
Lowell, MA**

**Advisory Committee Meeting
17 February 1999
Sign In Sheet**

Name	Affiliation	Address	Phone #
Chris Boggs	LNHP	67 Kirk Street	275-1725
Peter Ancella	LNHP	67 KIRK ST.	275-1722
David Turitto	LNHP	CBA	934-4677
FRANK CARVALHO	CBA	450 Merrimack St	920-2034
Fred Patenaude	resident	67 Chase St	446-7243
BOB FITZGERALD	JEWEL FABRICS	223 6TH AVE	453-8953
Carole Schlessinger			
Thomas Galligani	DPD- ECON DEVEL.		727-4217
John Harkin		20 COMBARD ST.	458-3076
STEPHEN STOWELL		LOWELL HISTORIC BOARD	
J. Heli Hernandez		644 Broadway St.	453-7522
Brian Isaacson	TAMS	78 Chauncy Boston 02111	482-4835
ANNE BARTON		DPD	

The Acre Urban Revitalization and Development Plan

Lowell, Massachusetts

HOUSING GOALS:

1. Preserve Existing Housing Stock

- Provide rehab assistance to owner-occupants
- Provide rehab assistance to investor-owners
- Acquire and rehab blighted investor-owned units

2. Expand Affordable Housing Stock

- Convert non-residential uses
- Redevelop sub-standard residential units
- Develop new housing on vacant parcels

3. Use Urban Renewal as catalyst for development

- Leverage City financing for housing development
- Create market for private investment
- Provide incentives for neighboring parcels

The Acre Urban Revitalization and Development Plan
Lowell, Massachusetts

EXISTING CONDITIONS:

	No. of Buildings	No. of Units
OWNER-OCCUPIED		
1-Family	26	26
2-Family	27	54
3-Family	1	3
Multi-Family	0	0
SUB-TOTAL	54	83
INVESTOR-OWNED		
1-Family	33	33
2-Family	31	62
3-Family	15	45
Multi-Family	43	358
SUB-TOTAL	122	498
TOTAL EXISTING		
1-Family	59	59
2-Family	58	116
3-Family	16	48
Multi-Family	43	358
TOTAL EXISTING	176	581

The Acre Urban Revitalization and Development Plan

Lowell, Massachusetts

PROPOSED PROGRAMS:

		URBAN RENEWAL	
		Number of Units	
Owner-Occupied Rehab		0	
Investor-Owned Rehab		105	
	Owner-Rehab		0
	Acquire-Rehab		0
	Demo-New Construction		0
New-Construction		142	
Units not Replaced		31	
Net Change		216	
		OTHER HOUSING PROGRAMS	
		Number of Units	
Owner-Occupied Rehab		83	
Investor-Owned Rehab		393	
	Owner-Rehab		197
	Acquire-Rehab		98
	Demo-New Construction		98
New-Construction		***	
Units not Replaced		0	
Net Change		476	
TOTAL UNITS AFTER PLAN		692	

*** Program goal to provide 300 new units

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INCOME PROFILE:

Lowell Median Income:

30% Median:	\$13,950
60% Median:	\$27,900
80% Median:	\$37,200
100% Median	\$46,500

Income Distribution:	No. of Units	% of Acre
30% Median:	145	25%
60% Median:	139	24%
80% Median:	70	12%
Above 80%	227	39%
TOTAL	581	100%

Affordable Housing Goals:

1. Maintain affordability for current Acre residents.
2. Provide economic opportunities to increase income levels.
3. Reserve 50% of new housing for incomes below 60% median.

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TYPICAL DEVELOPMENT BUDGET:

HARD COSTS	\$112,000	<i>Typical 3-Bedroom unit at \$80 per s.f. Includes sitework, contingency, etc. Does not include acquisition costs.</i>
SOFT COSTS	\$13,000	<i>Includes legal costs, design fees, overhead, etc.</i>
TOTAL DEVELOPMENT COSTS	\$125,000	<i>Maximum per-unit cost limit</i>
CURRENT APPRAISED VALUE	\$85,000	<i>Based on recent sales of comparable Acre properties</i>
MAXIMUM MORTGAGE	\$80,750	<i>95% Loan-to-Value ratio; \$30,000 income needed to qualify</i>
DOWNPAYMENT	\$4,250	<i>5% Downpayment</i>
PUBLIC SUBSIDY	\$40,000	<i>Potential Sources: CDBG Grants HOME Funds Tax-Credit Equity AHP Grants</i>

The Acre Urban Revitalization and Development Project
Citizens Advisory Committee Meeting Notes
24 March 1999

A draft of the plan was distributed to all Committee members.

Carole Schlessinger reviewed changes since the last CAC and mentioned the things that are likely to change before the final plan. They include:

- Worthen Street has become one way (towards Broadway) with parking on both sides. There will be a drop-off area for Girls Inc.
- The walkway connecting Worthen Street to the Cardinal O'Connell Parkway has become a park to provide some open space for the Whistler House and a place to put their new stature of Whistler.
- The retail and residential building at the corner of Market and Cardinal O'Connell Parkway was scaled down to about 10 residential units above a retail space at the corner. Residential parking will be accommodated underneath the building with access from Worthen Street.
- A new two family house that had been proposed for a small site on Adams Street was removed to provide additional parking for the proposed rehabilitation of buildings along Broadway.
- The townhouses along Fletcher were changed from 6 units each to 5 units each to allow the rehab of an "A" rated historic building next door.
- The mixed-use building at the corner of Suffolk and Broadway is going to be added to the acquisition list. City housing technicians recently inspected the building and initially determined that it would cost over \$300,000 dollars to rehab it. The RFP for the building would offer options with strict requirements for both rehab and new construction.
- The mixed use building at the corner of School and Broadway may be changed from acquire for rehab to acquire for demolition; the RFP would offer both options with strict requirements for both rehab and new construction. The disposition agreement would require that it not be demolished until financing and plans to rebuild a building of similar scale and use at the corner are secured.
- The plan will mention the improvement of the park at the corner of Cross and Marion.
- The historical research found that the corner of Fletcher, Suffolk, Adams, and Rock Street used to be named Liberty Square. The plan will discuss commemorating this spot in some way. The square may be rechristened Liberty Square and/or some of the streets may change to their earlier, historic names. There was discussion about renaming Adams Streets because it has a stigma associated with it.

Anne Barton suggested that the plan mention the community garden on Franklin Street.

John Matthews representing Demoulas asked if the plan would be flexible enough to allow for an office building instead of a residential building on the site at the corner of Market and Cardinal O'Connell Parkway. *Tom said that the plan is illustrative and can be changed within reason. The disposition agreement and the new zoning will set the bounds of what can be built on particular sites.*

Carole passed out some information from the City's Site Finder System that real estate brokers and businesses use to find available properties. The current list has a variety of industrial and retail sites in Lowell (see attached).

Anne reported that the City continues to meet with business owners who will need to be relocated. They have had good response from everyone that they have spoken with. Most people are interested in what kinds of assistance will be available.

Carole walked the committee through the draft report. Issues that were discussed follow:

The committee was interested in the budget section. Carole and Tom explained that the 52 million dollar project will only cost the city about 6 million dollars because the state pays for half (23 million after proceeds from the sale of land) and the grant for the school (18 million already committed by the SBAB for the school) counts towards the City's half. Overall, this is a very good deal for the City.

There was some discussion about getting some grant money for the Western Canal improvements. If this is possible, it would leverage the City's share of the project even more. Peter Aucella is going to look into some \$500,000 dollar grants that could be leveraged to 1 million dollars worth of work along the Western Canal. Most likely this will be federal or state highway money.

Frank Carvalho asked what binds the City to doing everything in the plan. *Tom explained that the City will not receive money from DHCD if they are not moving forward with project. DHCD will not provide money for projects that are not approved in the plan. There will also be this standing committee that will guide the process.*

David Turcott asked what the time frame is for new housing and how the committee can ensure that 50 percent of the new housing is for families that are below 60 percent of median income. *Gordon Brigham explained that the new housing that is shown on the plan should be built within 5 years. The broader housing program that will encourage owner occupied housing to be improved, and either upgrading or replacement of investor owned housing with owner occupied housing, is expected to happen within 20 years. This second track does not show up on the illustrative plan, but is included in the report and will require a commitment of approximately 6 percent of the citywide CDBG and HOME funds. Tom explained that the housing program is included in the plan, but goes beyond the requirements of Urban Renewal.* There was some discussion about including the housing program budget in the budget of the overall project to help explain it to the council.

Anne asked for members of the committee to come to the public hearing to help explain the process and their involvement. She also announced that the RFP for the City Barns went out and responses are due by Friday April 2.

Someone asked when the plan becomes final. *Tom explained that it officially remains a draft until it is approved by DHCD. Even if the planning board and the council approve it, DHCD can still ask for changes.*

The next meeting will be on April 5th at 6:00. At that time, the consultants will hear the committee's comments. That will probably be the final CAC meeting until implementation of the plan begins.

Sample of Available Relocation Space

Use/Address	Size	Rental/SF	Sales Price
Industrial			
Appleton Mills		\$3-4.50/sf	
100 Hale Street	70,400 sf	\$5.50/sf	
525 Woburn St.	128,098 sf	\$4.50/sf	
1460 Middlesex	2.98 acres		\$375,000
231 Mt. Vernon Lowell Electrical	13,000 sf		\$175,000
70 Wilbur	1937 sf ind. +1000 off.		\$110,000
20 Arch	8580 sf		\$140,000
182 Middlesex	9401 sf		\$190,000
Rock & Willie C&R	9500 sf	\$3.50/sf	
100 Phoenix Ave.	35,000 sf		
Russell Lumber	40,882		\$800,000
Retail			
124 Merrimack w/ Saigon Taste	1500 sf	\$1500/mo	\$1500/sf
43-47 Market	3200 sf		
1258 Gorham	1396 sf		\$125,000
1426 Gorham by Julian Steele	2400 sf		
Worthen House	3344 sf		\$350,000
Harmon's Paints	4000 sf (sub to 1000)	?	
1673 Middlesex	20,000 sf	?	
1460 Middlesex	2.98 acres		\$375,000
10 Bridge St	2124 sf	?	
Westford Street	0.28 acres		sales price?
55 Church Street	17,366	?	

**Urban Revitalization and Development Project for The Acre Neighborhood
Lowell, MA**

**Advisory Committee Meeting
24 March 1999
Sign In Sheet**

Name	Affiliation	Address	Phone #
Colin McNeice	DPD		970-4261
Matt Higgins	DPD		970-4265
FRED SIMON	Sen. Panagiotakos	Office	454-0088
PETER AUCELLA	LNHP		275-1722
Chris Briggs	LNHP		275-1725
Frank Carvalho			970-2034
THOMAS FITZGERALD	IBAN FABRICS		453-8955
Tom Miller	MEI.		779-8203
John Matthews		252 High Rd Newbury	978-465-0209
Myra Gray	WFA		617-5507400
John A. Turatto	CBA		934-4677
BOB DeMORRA	Lowell Police		937-3200
And Manka	All Oney		453-2702
John Harkin		2 Lombard St.	458-3076

The Acre Urban Revitalization and Development Project Citizens Advisory Committee Meeting Notes

5 April 1999

Carole Schlessinger reviewed the small changes since the last meeting. They were:

- Adding the building at the corner of Suffolk and Broadway to the acquisition list. The property will be disposed with the qualification that it should be rehabbed if it is economically feasible to do so.
- A new industrial building was added to the site off of Western Ave near the corner of Cushing and Fletcher. The building is configured to provide an edge to the walkway along the canal and to hide a view of a loading dock and other industrial activities from the main entrance into the Acre. The building could provide up to 25,000 square feet of space with space remaining on the site for truck circulation. If someone is interested in building an industrial condominium on this site, it could accommodate some number of the businesses that need to be relocated.

The remainder of the meeting was used for committee members to comment on the draft report.

- Peter Aucella asked about the advantages for tax incentives for industrial properties, including section 108. He thinks this should be mentioned in the plan.
- Frank Carvalho felt like the statement that there is a high level of commercial vacancy contradicts the proposed action to evict additional commercial business. *Tom Miller explained that the Economic Development Incentive Program (EDIP) is for the larger area and it is intended to provide benefits beyond the urban renewal area. There are however many abandoned buildings, and buildings that have been torn down and not replaced.*
- John Harden was concerned about the wording in many parts of the report. He felt that it places blame for current conditions on the residents. He felt that many of the conditions that were described as needing improvement and having not changed since the 1972 Comprehensive Plan are a result of the City inaction. *Tom and Carole explained that these sections are to establish consistency with the 1972 plan not a way to blame any group. Tom reminded the committee that one of the purposes of doing an urban renewal plan is to establish the fact that there is no confidence on the part of existing land owners that would encourage them to invest in the area.*
- Anne Barton reminded the committee of various efforts in the area that have not produced sufficient results. These included the Fletcher Street Corridor Committee and UDAG grants from HUD. Before the project started, the City mapped out past efforts in the area and decided it was time to take Urban Renewal action.
- Peter Aucella asked for clarification in the text about the Track 1 and Track 2 housing programs. He also asked if the text regarding the "wide range" of income levels could be clarified, because it is a wide range at the lower end of the income spectrum. He also suggested that there be a clear statement about the difference between the median income of the area and the city as a whole.
- Frank Carvalho and others suggested that some statement of priorities be added to the plan. *Tom Miller said that if we prioritize actions we would probably start with disposal of city owned properties and then the School. We can suggest priorities beyond that, but it will probably change.* Peter Aucella added that there are some actions, such as zoning changes, design review, and enhanced code enforcement that can happen before spending any money.

- Frank Carvalho asked about how much information is being given to businesses on the School site at this time. He asked who is responsible for 21E problems. *Tom explained that the 21E legislation holds the person and/or company that creates the pollution responsible, regardless of who currently owns the property.* Sometimes properties are transferred with an “Activity and Use limitation” due to on site pollution. If this happens, the new owner is responsible for cleanup required for other uses. Anne Barton added that the budget for the school includes money to clean up the site. There was concern that owners being acquired would have to pay to cleanup pollution that would not have been discovered if the city was not acquiring the land.
- Frank asked about relocation options for retail businesses at the school site. *Anne explained that the City does not have an answer yet, and DHCD does not expect detailed relocation options for every business at this point.* John Harden is still concerned that businesses that own their space will not have an opportunity to own again. Frank suggested that we set some more specific targets for relocation of existing businesses (similar to the housing targets of 50 percent of new housing for families below 60 percent of median income).
- Peter asked why the budget only includes staff for 2 years. It was decided that this should be 3 or 4 years.
- Peter said the plan should include \$1 million dollars for upgrading the Western Canal, because the NPS will commit to finding a grant that will pay for the City’s share. He asked if there was any interest in adding renovations to the Pawtucket Canal to the project. It was decided that that should not be done at this time.
- Matt Higgins suggested that some of the text be simplified so that it is more approachable for lay people and City Council. *Tom and Carole explained it was written for technical reviewers at DHCD not the general public.*
- Matt Higgins also suggested that spending money on rehabbing the house on Wammsit Court is not appropriate, because the area will be zoned industrial and other buildings will be demolished.
- Tom Galligani was concerned about the parking lot behind McKittricks Hardware because they use that space for deliveries and they are also thinking about expanding. *Carole said we would take another look at that space and see if we could sacrifice some parking spaces along the back side of the building.*

Revised text will be sent to CAC members early next week.